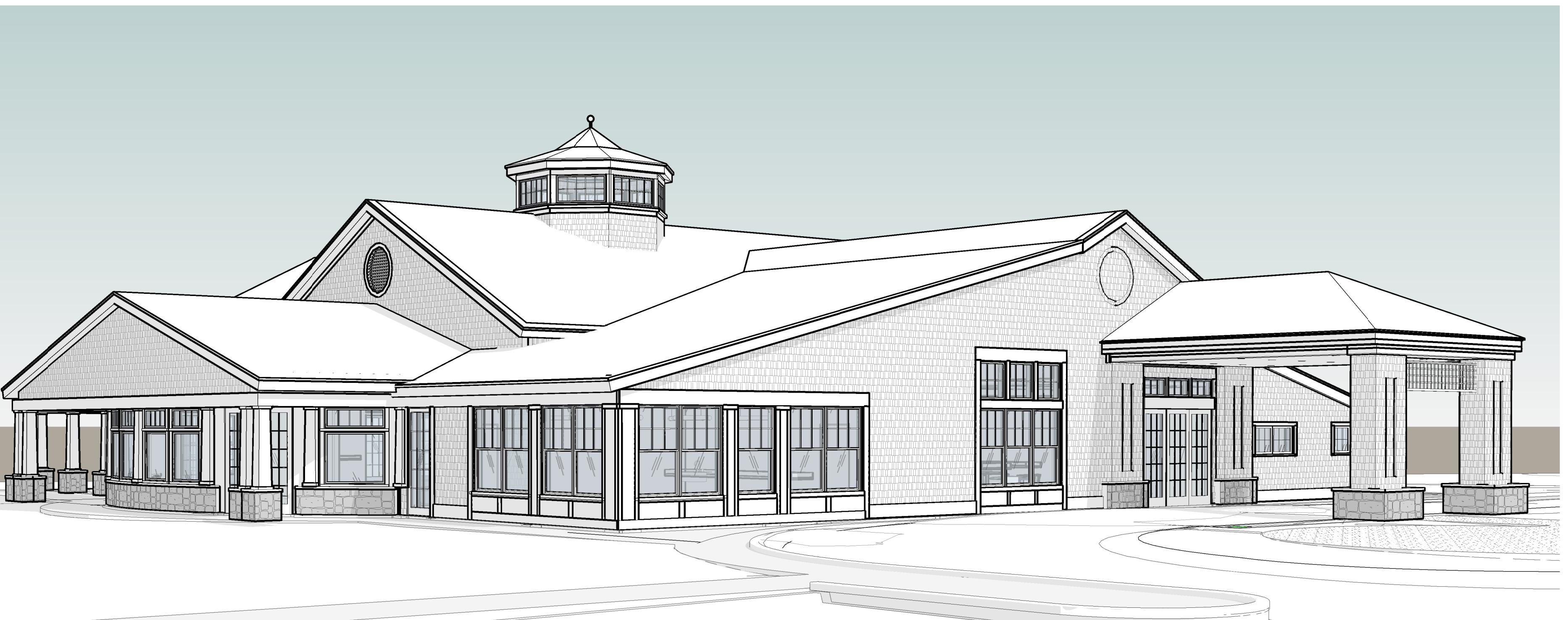


# LYMES' SENIOR CENTER RENOVATION

26 Town Woods Road  
Old Lyme, CT

SHEET NUMBER		SHEET NAME	PROJECT DIRECTORY	POINT ONE ARCHITECTS
			<p><i>Owner:</i> Point One Architects + Planners 101 Shore Road Old Lyme, CT 06357 T: (860)434-7707 F: (860)434-7319</p> <p><i>Architect:</i> Point One Architects + Planners 101 Shore Road Old Lyme, CT 06357 T: (860)434-7707 F: (860)434-7319</p> <p><i>Civil Engineer:</i> Summer Hill Civil Engineering 60 Wall St Madison, CT 06443 T: (203)245-0722</p> <p><i>Structural Engineer:</i> Innovative Engineering Services LLC. 33 North Plains Industrial Rd Wallingford, CT 0492 T: (203)467-4370</p> <p><i>MEPFP Engineer:</i> Innovative Engineering Services LLC. 33 North Plains Industrial Rd Wallingford, CT 0492 T: (203)467-4370</p> <p><i>Landscape Architect:</i> TEC Landscape Design, Inc. 62 Wall St Madison, CT 06443 T: (203)245-4295</p>	

PROGRESS PRICING SET

NOT FOR CONSTRUCTION DD SET

MAR 06, 2023

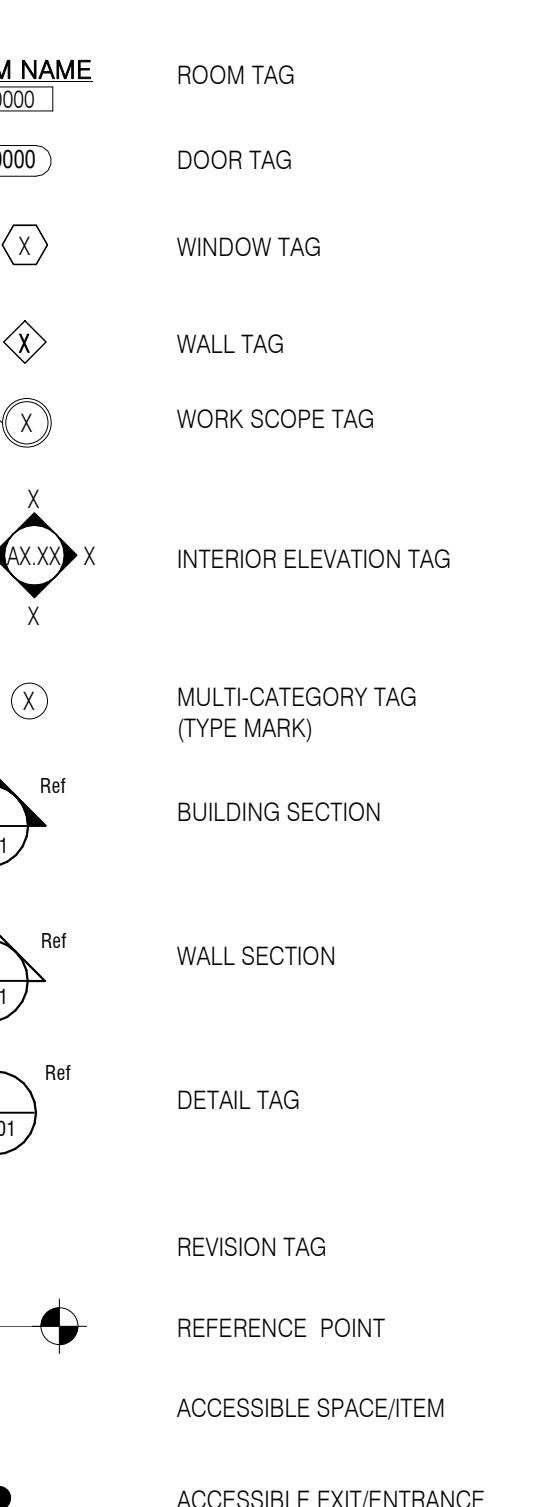
# LYMES' SENIOR CENTER RENOVATION

26 Town Woods Road  
Old Lyme, CT

Point One Architects  
101 Shore Road  
Old Lyme, CT 06371  
860.434.7707  
www.pointonearchitects.com

ABBREVIATIONS																			
A	AIR	CTR	COUNTER	FR	FRAME	LT	LIGHT	PVMT	PAVEMENT	THR	THRESHOLD								
A/C	AIR CONDITIONING	CYD	CUBIC YARD	FS	FULL SIZE	LTL	LINTEL	PVR	PAVER(S)	TLT	TOILET								
ABV	ABOVE			FT	FIRE-TREATED	LVR	LOUVER			TO	TOP								
ACT	ACOUSTIC CEILING	D	DRAIN	FTG	FOOTING	LVT	LUXURY VINYL TILE	QT	QUARRY TILE	TPD	TOILET PAPER DISPENSER								
ADJ	ADJUSTABLE	DEFS	DIRECT-APPLIED EXTERIOR FINISH	FURR	FUTURE	MANU	MANUFACTURE(D)(R)	R	RISER	TRANS	TRANSPARENT								
AFF	ACOUSTIC FINISH	FLOOR	DET	DETAIL(ED)	FUT	MAN	MASONRY	RAD	RADIAT(OR)(ION)	TF	TFLEX								
AHU	AIR HANDLING UNIT	DF	DRINKING FOUNTAIN	FWC	FABRIC	MECH	MASONRY	RD	RUNNING DRAIN	TY	TYPI								
ALT	ALTERNATE	DIA	DIAMETER	FVC	FABRIC	MED	MASONRY	REF	REFRIGERATOR	TZ	TERAZZO								
ALUM	ALUMINUM	DIAG	DIAGONAL	GA	GAGE, GAUGE	MEMB	MEMBRANE	REINF	REINFORCED(ED)(ING)	UC	UNDERCOUNTER								
ANOD	ANODIZED	DIM	DIMENSION	GA	GALVANIZED	MFG	MANUFACTURING	REM	REMOVE	UNO	UNLESS OTHERWISE NOTED								
APPROX	APPROXIMATE	DIR	DIRECT(OR)(ION)	GALV	GRAB BAR	MH	MECHANICAL	REQD	REQUIRED	V	VACUUM								
ARCH	ARCHITECT(URAL)	DISP	DISPENSER	GB	GENERAL	MHK	MOP HOOK	RET	RETURN	VB	VAPOR BARRIER								
A/V	AIR VAPOR BARRIER	DN	DOWN	GBH	GLOVE BOX HOLDER	MIN	MINIMUM	REV	REVISED(ION)	VCT	VINYL COMPOSITE								
B/S	BOTH SIDES	DR	DOOR	GC	GENERAL CONTRACTOR	MIR	MIRROR	RFG	ROOFING	TH	THICK								
B/W	BOTH WAYS	DWG(S)	DRAWING(S)	GF	GLASS-FIBER	MISC	MISCELLANEOUS	RH	RIGHT HAND	VERT	VERTICAL								
BD	BOARD	DWR	DRAWER	GRC	GLASS, GLAZING	MLDNG	MOLDING	RM	ROUGH OPENING	VIF	VERIFY IN FIELD								
BG	BUMPER GUARD	EA	EACH	ED	EDUCATIONAL	MO	MASONRY OPENING	RWL	RAIN WATER LEADER	VVC	VINYL WALL COVERING								
BIG	BIGMUNOUS	EF	EXHAUST FAN	GWB	GYPSUM WALL BOARD	MTL	METAL	MULL	MULLION	S/STL	STAINLESS STEEL								
BLDG	BUILDING	EF	EXHAUST FAN	GL	GENERAL	NAT	NATURAL	SC	SCREW	W	WIDE, WIDTH								
BLKG	BLOCKING	EF	EXHAUST FAN	GWP	GYPSUM	NIC	NOT IN CONTRACT	SD	SOAP DISPENSER	W/	WITH								
BM	BEAM	EIFS	EXTERIOR INSULATION FINISH	HC	HOLLOW CORE	NOM	NOMINAL	SGT	STRUCTURAL	WD	WOOD								
BOT	BOTTOM			HD	HAND DRYER	NTS	NOT TO SCALE	SH	SHARPS CONTAINER	WG	WIRE GLASS								
BR	BRICK	EL	ELEVATION	HDW	HARDWARE	HR	HAND RAIL	SKL	SKYLIGHT	WIN	WINDOW								
BRG	BEARING	ELEC	ELECTRICAL	HDK	HOOTROBE HOOK	HS	HAND SANITIZER	SKLT	SKYLIGHT	WFM	WELDED WIRE MESH								
BRZ	BRONZE	ELEV	ELEVATOR	HM	HOLLOW METAL	HT	HEIGHT	SD	SOAP DISPENSER	WR	WASTE RECEPTACLE								
BUR	BUILT-UP ROOFING	EMER	EMERGENCY	HORZ	HORIZONTAL	HTG	HEATING	SDR	STRUCTURE(AL)	WS	WIRE SHELVING								
CAB	CABINET	ENGR	ENGINEERING	HP	HIGH POINT	OA	OVERALL	SKL	SANITARY NAPKIN	WVM	WELDED WIRE MESH								
CEM	CEMENT	EQ	EQUAL	HR	OBSCURE	OBS	OBSCURE	SKL	SANITARY NAPKIN	WWR	WATERPROOFING								
CG	CORNER GUARD	EQUIP	EQUIPMENT	HS	ON CENTER	OC	ON CENTER	SKLT	SANITARY NAPKIN	WS	WIRE SHELVING								
CG-F	CORNER GUARD	ERD	EMERGENCY ROOF	HT	OUTSIDE DIAMETER	OD	OUTSIDE DIAMETER	SPN	SANITARY NAPKIN	WWR	WATERPROOFING								
CHBD	CHALKBOARD	EMER	EMERGENCY	HTG	OPENING	OPG	OPPOSITE	SNW	SANITARY NAPKIN	WS	WIRE SHELVING								
CI	CAST IRON	EWC	ELECTRICAL WATER COOLER	HVAC	OVERFLOW ROOF DRAIN	ORD	OVERFLOW ROOF DRAIN	SPC(S)	SPECIFICATION(S)	WWR	WATERPROOFING								
CJT	CONTROL JOINT	EXP	EXPANSION	ID	INSIDE DIAMETER	PERF	PERFORATED	ST-R	SOAP	WR	WASTE RECEPTACLE								
CL	CENTER LINE	EXPD	EXPOSED	INCL	INCLUDED(ING)	PLAM	PLASTIC LAMINATE	PLUMB	PLUMBER(ING)	STL	STEEL								
CLO	CLOSET	EXT	EXTERIOR	INFO	INFORMATION	PNT	PAINTED	PREFA	PREFABRICATED	STRUCT	STRUCTURE(AL)								
CLR	CLEAR			INSUL	INSULATED(ING)IO	PSI	PREFINISHED	PREFIN	PREFINISHED	SUSP	SUSPENDED(ED)								
CMU	CONCRETE MASONRY UNIT	FA	FIRE ALARM	INT	INTERIOR	PT	POINT	PTD	PARTITION	SV	SHEET VINYL								
COL	COLUMN	FD	FLOOR DRAIN	INT	INTERIOR	L	LENGTH	PTD	PARTITION	SVS	SHEET VINYL								
COMP	COMPOSITE(ION)	FDN	FOUNDATION	INT	INTERIOR	LAM	LAMINATE(D)	PTN	PARITION	SVS	SHEET VINYL								
CONC	CONCRETE	FE	FIRE EXTINGUISHER	JT(S)	JOINT(S)	LAV	LAVATORY	PTN	PARITION	SVS	SHEET VINYL								
CONSTR	CONSTRUCTION	FEC-R	FEC-RECESSED	L	LENGTH	LEAD-COATED	LEAD-COATED	PVC	PAPER TOWEL RECEPTACLE	SVS	SHEET VINYL								
CONTR	CONTRACTOR	FEC-SR	FEC-SEM RECESSED	LAV	LAVATORY	PTN	PARITION	PTN	PARITION	SVS	SHEET VINYL								
CPT	CARPET	FIN	FINISH	LCC	LEAD-COATED	PTN	PARITION	PTN	PARITION	SVS	SHEET VINYL								
CPTT	CARPET TILE	FLG	FLASHING	PTN	PARITION	PTN	PARITION	PTN	PARITION	SVS	SHEET VINYL								
CR	CRASH RAIL	FLR	FLOOR(ING)	LH	LEFT HAND	PTN	PARITION	PTN	PARITION	SVS	SHEET VINYL								
CRS	COURSE(S)	FP	FIRE-PROOF(ING)	LP	LOW POINT	PVC	POLYVINYL CHLORIDE	THK	THICKNESS	SVS	SHEET VINYL								
CT	CERAMIC TILE																		

## SYMBOLS



## MATERIALS

ROOM NAME	ROOM TAG	EXISTING CONSTRUCTION TO REMAIN	FINISH WOOD
0000	DOOR TAG	EXISTING WALL/ITEM TO BE REMOVED	CONTINUOUS WOOD BLOCKING
0000	WINDOW TAG	CONCRETE	SHIM
0000	WORK SCOPE TAG	CONCRETE MASONRY UNITS	PLYWOOD
0000	INTERIOR ELEVATION TAG	BRICK	BATT INSULATION
0000		STONE	ROOFING
0000		METALS	VERTICAL
0000		COMPACTED GRAVEL	ACOUSTIC TILE
0000		EARTH/COMPACTED FILL	RESILIENT FLOORING/PLASTIC LAMINATE
0000			AIR AND VAPOR BARRIER/DAMPPROOFING

## PHASING LEGEND

NEW CONSTRUCTION	EXISTING CONSTRUCTION TO REMAIN
EXISTING WALL/ITEM TO BE REMOVED	CONTINUOUS WOOD BLOCKING
CONCRETE	SHIM
CONCRETE MASONRY UNITS	PLYWOOD

1HR. FIRE-RATED WALL CONSTRUCTION (TIGHT TO UNDERSIDE OF STRUCTURE ABOVE)

## GENERAL NOTES

1. ACCESSIBILITY NOTE: THIS BUILDING WILL BE DESIGNATED AN ACCESSIBLE FACILITY, ALL PROGRAM AREAS ARE ACCESSIBLE TO PERSONS WITH DISABILITIES. ACCESSIBLE ROUTES SHALL CONNECT BUILDINGS, FACILITIES, ELEMENTS, SPACES, PARKING, PASSENGER LOADING ZONES, PUBLIC STREETS AND SIDEWALKS. ACCESSIBLE ROUTES SLOPES SHALL NOT EXCEED 1:20 (5%) OR LESS AND CROSS SLOPES SHALL NOT EXCEED 1:2 (50%). S



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# POA

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[www.pointonearchitects.com](http://www.pointonearchitects.com)

PHASE: DD SET  
PRICING SET

JOB #:	790
DRAWN BY:	KJ
CHECKED BY:	GN
ISSUE DATE:	MAR 06, 2023

A large, bold, black stamp that reads "NOT FOR CONSTRUCTION" in a sans-serif font. The text is oriented diagonally, sloping upwards from the bottom-left to the top-right. The stamp is positioned in the lower half of the page, with a thin horizontal line above it and a thick horizontal line below it, creating a frame for the stamp text.

DRAWING NAME:  
CODE PLAN

SCALE: 1/8" = 1'-0"

SHEET:

# CD1 01

# CD1.01



NOTES	OCCUPANT LOADS	CODE REVIEW PLAN SYMBOLS LEGEND																																																																																																									
<p>1. LEVEL 3 ALTERATIONS PER IEBC 505.1 2. NO EXISTING SPRINKLER SYSTEM 3. G.C TO VERIFY EXIST FEC LOCATIONS IF REQ'D. COORDINATE WITH FIRE MARSHALL NEW LOCATION. 4. G.C. EMERGENCY EXIT SIGN LOCATIONS IF REQ'D COORDINATE WITH FIRE MARSHAL NEW MOUNTING LOCATION 5. BASEMENT TO MAINTAIN EXISTING FIRE RATING</p> <p>OCCUPANT CLASSIFICATION: ASSEMBLY - A2 - RESTAURANT</p> <p style="color: red; font-style: italic;">UPDATE INFORMATION</p>	<table border="1"> <thead> <tr> <th>Name</th><th>Area</th><th>Occupancy Category</th><th>Load Factor</th><th>Occupancy Load Rounded</th></tr> </thead> <tbody> <tr> <td colspan="5"><b>A-3</b></td></tr> <tr> <td>KITCHEN EXPANSION</td><td>248 SF</td><td>A-3</td><td>15 SF</td><td>17</td></tr> <tr> <td>ENTRY</td><td>69 SF</td><td>A-3</td><td>15 SF</td><td>5</td></tr> <tr> <td>GREETER</td><td>225 SF</td><td>A-3</td><td>15 SF</td><td>16</td></tr> <tr> <td>QUITE RM</td><td>236 SF</td><td>A-3</td><td>50 SF</td><td>5</td></tr> <tr> <td>SM. MULTI. RM</td><td>570 SF</td><td>A-3</td><td>20 SF</td><td>29</td></tr> <tr> <td>ACTIVEY RM</td><td>842 SF</td><td>A-3</td><td>15 SF</td><td>57</td></tr> <tr> <td>LG MULTI. RM</td><td>1762 SF</td><td>A-3</td><td>15 SF</td><td>118</td></tr> <tr> <td>MED MULTI RM</td><td>1364 SF</td><td>A-3</td><td>15 SF</td><td>91</td></tr> <tr> <td>COVERED PORCH</td><td>319 SF</td><td>A-3</td><td>15 SF</td><td>22</td></tr> <tr> <td></td><td></td><td></td><td></td><td>360</td></tr> <tr> <td colspan="5"><b>B</b></td></tr> <tr> <td>OFFICE SUITE</td><td>538 SF</td><td>B</td><td>100 SF</td><td>6</td></tr> <tr> <td></td><td></td><td></td><td></td><td>6</td></tr> <tr> <td colspan="5"><b>KITCHEN</b></td></tr> <tr> <td>KITCHEN EXIST.</td><td>403 SF</td><td>KITCHEN</td><td>200 SF</td><td>3</td></tr> <tr> <td></td><td></td><td></td><td></td><td>3</td></tr> <tr> <td colspan="5"><b>MECH</b></td></tr> <tr> <td>MECH.</td><td>72 SF</td><td>MECH</td><td>300 SF</td><td>1</td></tr> <tr> <td></td><td></td><td></td><td></td><td>1</td></tr> </tbody> </table>	Name	Area	Occupancy Category	Load Factor	Occupancy Load Rounded	<b>A-3</b>					KITCHEN EXPANSION	248 SF	A-3	15 SF	17	ENTRY	69 SF	A-3	15 SF	5	GREETER	225 SF	A-3	15 SF	16	QUITE RM	236 SF	A-3	50 SF	5	SM. MULTI. RM	570 SF	A-3	20 SF	29	ACTIVEY RM	842 SF	A-3	15 SF	57	LG MULTI. RM	1762 SF	A-3	15 SF	118	MED MULTI RM	1364 SF	A-3	15 SF	91	COVERED PORCH	319 SF	A-3	15 SF	22					360	<b>B</b>					OFFICE SUITE	538 SF	B	100 SF	6					6	<b>KITCHEN</b>					KITCHEN EXIST.	403 SF	KITCHEN	200 SF	3					3	<b>MECH</b>					MECH.	72 SF	MECH	300 SF	1					1	<p><b>ROOM NAME</b> → ROOM NAME 0000 → ROOM NUMBER</p> <p><b>ROOM OCCUPANCY LOAD: AREA SF</b> → MAXIMUM TRAVEL DISTANCE FROM FURTHEST POINT 1000 SF → 10P → 250' MTD</p> <p><b>EXIT CAPACITY:</b> → COMMON PATH OF TRAVEL 0 → 0 → 75' CPT</p> <p><b>MAXIMUM ALLOWABLE OCCUPANT LOAD</b> → 1HR. FIRERATED WALL CONSTRUCTION (TIGHT TO UNDER SIDE OF STRUCTURE ABOVE)</p> <p><b>ACCESSIBLE AREA, EXIT, OR ROUTE</b> → SLOPES SHALL BE 1:20 (5%) OR LESS &amp; THE CROSS SLOPES SHALL NOT EXCEED 1:50 (2%). CHANGES IN LEVEL SHALL NOT BE GREATER THAN 1/2" &amp; SLOPES SHALL NOT BE GREATER THAN 1:20 UNLESS RAMPS OR LIFTS ARE PROVIDED.</p> <p><b>SMOKE TIGHT WALL CONSTRUCTION</b> → SMOKE TIGHT WALL CONSTRUCTION (TIGHT TO UNDER SIDE OF STRUCTURE ABOVE)</p> <p><b>1 HOUR FIRE-RATED CEILING &amp; STRUCTURE SUPPORT</b> → 1 HOUR FIRE-RATED CEILING &amp; STRUCTURE SUPPORT ASSEMBLY ABOVE SPRAY APPLIED FIREPROOFING AT ALL COLUMNS &amp; BEAMS NOT REQUIRED AT DECKING</p> <p><b>DOOR OR STAIR WIDTH: REQUIRED WIDTH / PROVIDED WIDTH</b> → EXIT/STAIR # XX XX Occ. Load XXX Occ. Capacity XXX/XX = XXX</p> <p><b>EXIT/STAIR DESCRIPTION</b> → EXIT/STAIR DESCRIPTION OCCUPANTS: OCCUPANTS EXITING OCCUPANT LOAD CAPACITY DOOR OR STAIR WIDTH: REQUIRED WIDTH / PROVIDED WIDTH</p> <p><b>EXIT/ENTRY LOCATION</b> → EXIT/ENTRY LOCATION</p> <p><b>ACCESSIBLE TURNING</b> → ACCESSIBLE TURNING ADA TURNING RADIUS 5'0" DIAMETER-CLEAR</p> <p><b>ADA SHAPED TURNING SPACE</b> → ADA SHAPED TURNING SPACE 5'-0" x 5'-0"</p> <p><b>ACCESSIBLE CLEAR AREA</b> → ACCESSIBLE CLEAR AREA 2'-6" x 4'-0" CLEAR (TOP). 3'-0" x 4'-0" CLEAR (@ AREA OF REFUGE)</p> <p><b>FECC</b> → FIRE EXTINGUISHER (RECESSED)</p> <p><b>EXIT</b> → EXIT</p> <p><b>FLOOR PROXIMITY EXIT SIGN</b> → FLOOR PROXIMITY EXIT SIGN</p> <p><b>ACCESSIBLE EXIT/ENTRANCE PUSH CONDITION</b> → ACCESSIBLE EXIT/ENTRANCE PUSH CONDITION</p> <p><b>N</b> → NORTH</p>
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26 Town Woods Road  
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PHASE: DD SET  
PRICING SET

JOB #:	790
DRAWN BY:	KJ
CHECKED BY:	GN
ISSUE DATE:	MAR 06, 2023

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STAMP:  
**NOT FOR  
CONSTRUCTION**

DRAWING NAME:  
**DEMOLITION PLANS**

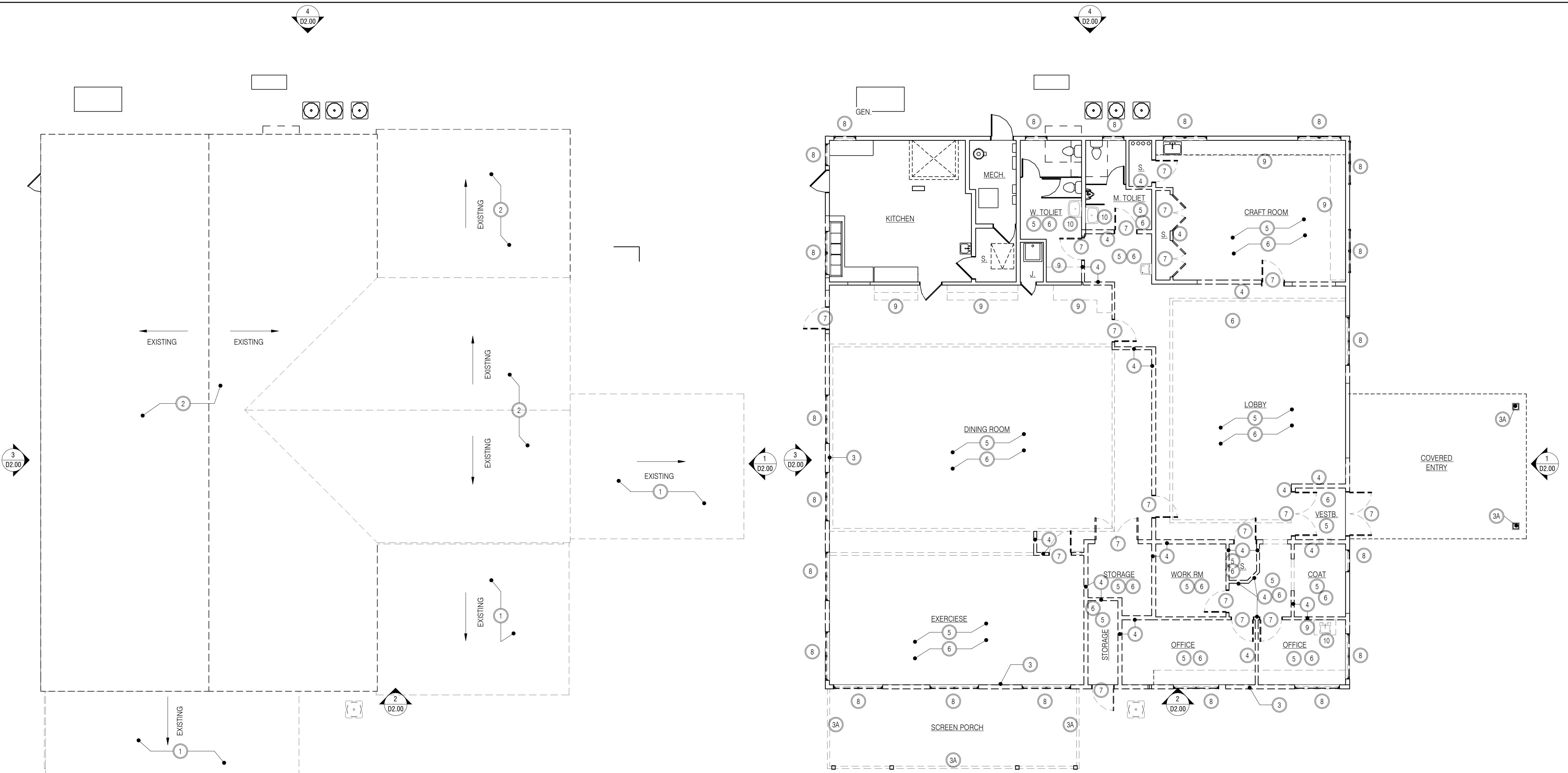
SCALE: As indicated

SHEET:

D1.00

DI.00

**D1.00**



## ROOF PLAN -DEMO PLAN

1  1/8" = 1'-0"

## FIRST FLOOR - DEMO PLAN

2 1/8" = 1'-0"

## DEMO GENERAL NOTES

$$\underline{12'' = 1'-0''}$$

1. DEMOLITION NOTES ARE FOR GUIDANCE ONLY AND ARE GENERAL IN NATURE. IT IS NOT THE INTENT TO POINT OUT EACH ITEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL ELEMENTS OF EACH ITEM NOTED AND/OR SHOWN TO BE DEMOLISHED, OR AS REQUIRED TO PROVIDE COMPLETED WORK IN ACCORDANCE WITH ALL CONTRACT DOCUMENTS.
2. THE BUILDING WILL REMAIN IN USE DURING DEMOLITION AND CONSTRUCTION PHASES. CONTRACTOR SHALL TAKE CARE TO MINIMIZE IMPACT ON OWNER ACTIVITIES. DUST, DEBRIS AND NOISE SHALL BE CONTAINED WITH TEMPORARY PARTITIONS AS REQUIRED. EGRESS PATHS MUST ALSO REMAIN INTACT DURING CONSTRUCTION.
3. PREPARE ALL AREAS WITHIN PROJECT SCOPE FOR NEW WORK. COORDINATE EXTENT OF REMOVALS WITH NEW WORK. ALL AREAS AFFECTED BY DEMOLITION OF EXISTING CONSTRUCTION OR REMOVAL OF NOTED ITEMS SHALL BE PATCHED TO MATCH EXISTING CONSTRUCTION AND/OR SUBSTRATE SHALL BE PROVIDED TO SUPPORT NEW FINISH. COORDINATE WITH NEW FINISHES TO BE APPLIED AT AREAS AFFECTED BY DEMOLITION WORK.
4. REFER TO M.E.P. DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION. COORDINATE WITH M.E.P. DRAWINGS FOR REMOVAL AND DISCONNECTS OF UTILITIES REQUIRED FOR COMPLETION OF ALL WORK. COORDINATE WITH M.E.P. DRAWINGS FOR ALL NEW THROUGH WALL/FLOOR/ROOF PIPING, CONDUITS AND DUCTWORK. CUT AND REMOVE AFFECTED WALLS, FLOOR CONSTRUCTION, ROOF CONSTRUCTION AS REQUIRED.
5. ALL EXISTING PIPING AND CONDUIT BRANCHES NOTED TO BE REMOVED SHALL BE CAPPED INSIDE WALL OR UNDER SLAB OUT OF VIEW. THESE LOCATION SHALL BE PATCHED TO MATCH EXISTING FINISHES.
6. CONTRACTOR TO PROVIDE TEMPORARY SHORING/BRACING AS REQUIRED AND/OR AS SHOWN. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
7. CONTRACTOR TO VERIFY DEMOLITION ITEMS TO BE TURNED OVER TO OWNER. ALL TACKBOARDS, MARKER BOARDS, DISPLAY CASES, SIGNS AND OTHER ACCESSORIES MOUNTED ON WALLS TO BE DEMOLISHED/MODIFIED SHALL BE REMOVED AND TURNED OVER TO OWNER. ALL MEDICAL EQUIPMENT, SUPPLIES AND RELATED ACCESSORIES AFFECTED BY DEMOLITION WORK SHALL BE REMOVED AND TURNED OVER TO OWNER.
8. CONTRACTOR TO COORDINATE REMOVAL WORK WITH ABATEMENT DRAWINGS AND HAZMAT REPORTS.
9. CONTRACTOR TO PROVIDE LIDAR SCANNING FOR EXISTING RADIANT SLAB PRIOR TO DEMOLITION. COORDINATE WITH LIDAR SCAN AS REQ'D.

DEMO KEY & NOTES

$$\underline{12'' = 1'-0''}$$

- 1 REMOVE EXISTING ROOF CONSTRUCTION, IN ITS ETERNITY
- 2 REMOVE EXISTING ROOF FINISH TO SUBSTRATE AND PREP FOR NEW FINISH. PATCH AND REPAIR AS REQ'D. STRUCTRUAL TRUSSES TO REMAIN
- 3 REMOVE PART OF EXISTING EXTERIOR WALL CONSTRUCTION, INCLUDING INTERIOR PLASTER FINISH AND SUBSTRATE, WALL BASE AND WALL PROTECTION. PREP FOR NEW HEADER. TEMP WALL SUPPORT AS REQ'D.
- 3A REMOVE ALL OF EXISTING EXTERIOR WALL CONSTRUCTION, INCLUDING INTERIOR PLASTER FINISH AND SUBSTRATE, WALL BASE, SOFFITS, STRUCTURE, AND WALL PROTECTION. PREP FOR NEW HEADER. TEMP WALL SUPPORT AS REQ'D.
- 3B REMOVE EXISTING EXTERIOR WALL EXIST SHINGLE FINISH TO SUBSTRATE PREP FOR NEW C.I. AND FINISH
- 4 REMOVE EXISTING INTERIOR PARTITION, INCLUDING WALL BASE AND WALL PROTECTION
- 5 REMOVE EXISTING CEILINGS AND ALL SUPPORTING SUSPENSION ASSEMBLIES, AND SOFFITS.
- 6 REMOVE EXISTING CARPET FLOORING AND PAD. PREP SUBSTRATE FOR NEW FINISHES.
- 7 REMOVE EXISTING DOOR AND FRAME TO ROUGH OPENING, INCLUDING HARDWARE
- 8 REMOVE EXISTING WINDOW UNIT TO ROUGH OPENING, INCLUDING WINDOW FRAME AND SUBFRAME, WINDOW TRIM AND TREATMENT
- 9 REMOVE EXIST CASEWORK
- 10 REMOVE EXISTING PLUMBING FIXTURES. REFER TO PLUMBING DWGS. FOR ADDITIONAL INFORMATION.

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Revisions		
No.	Date	Description

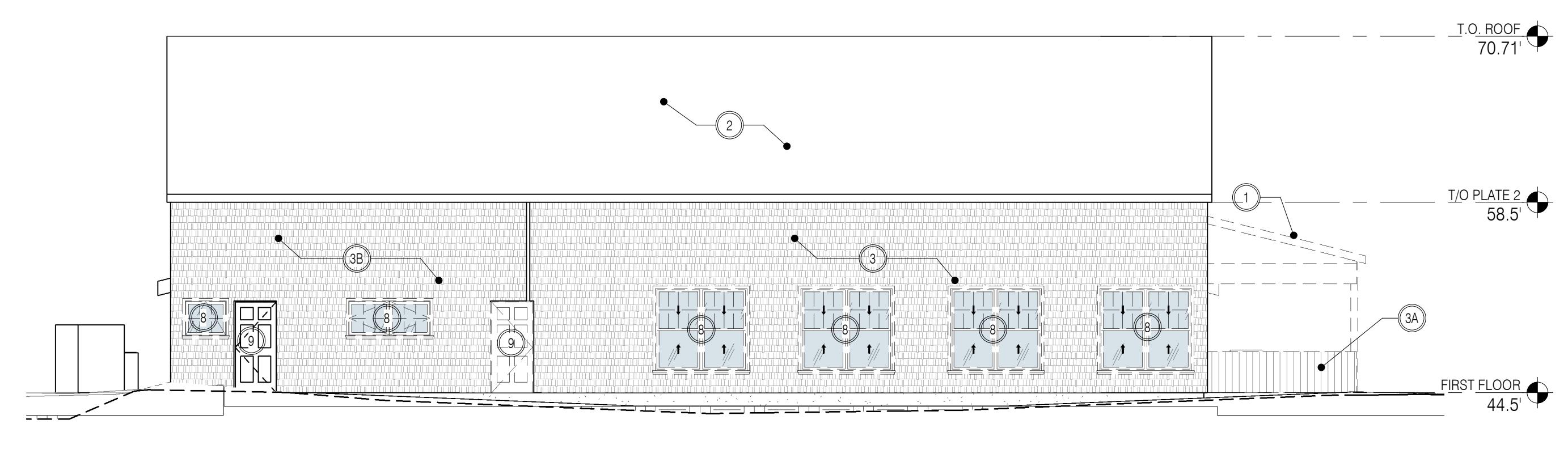
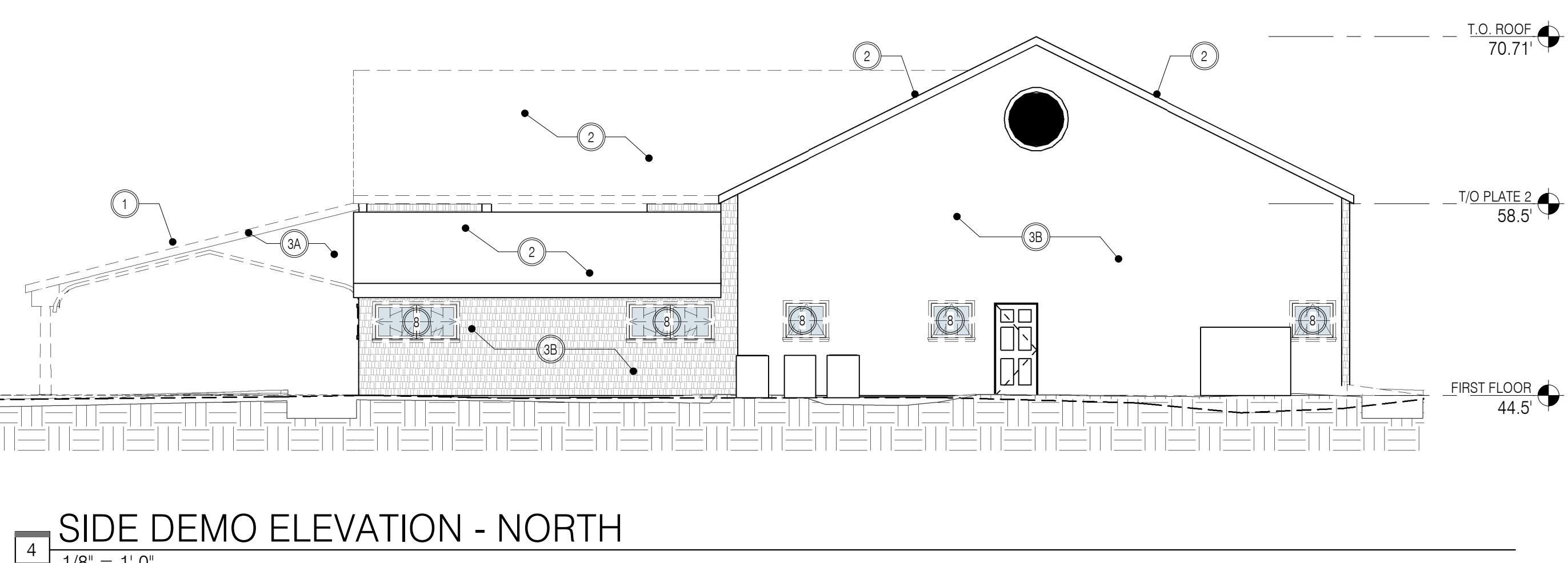
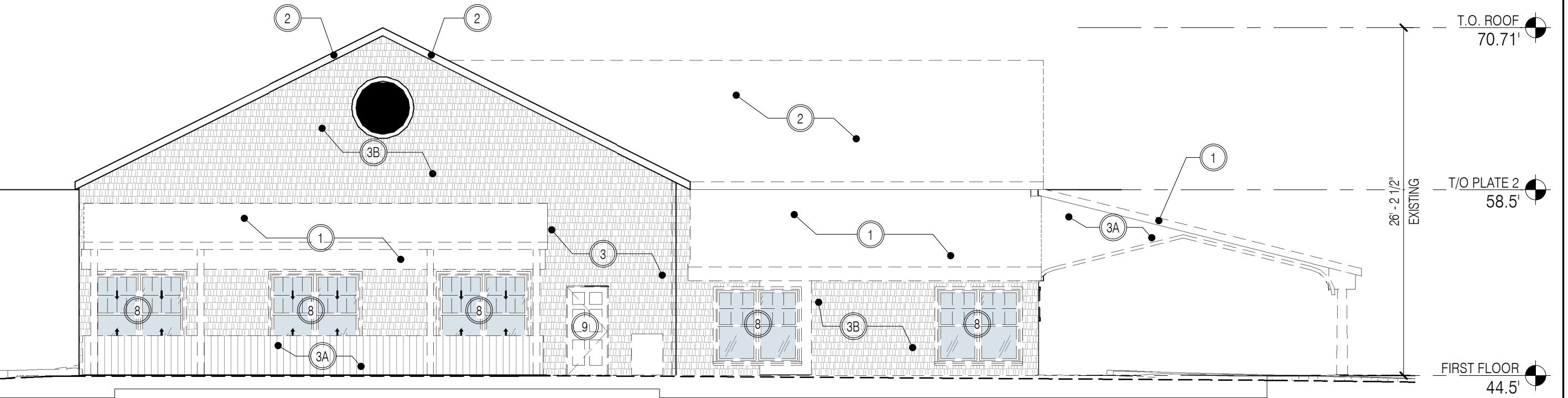
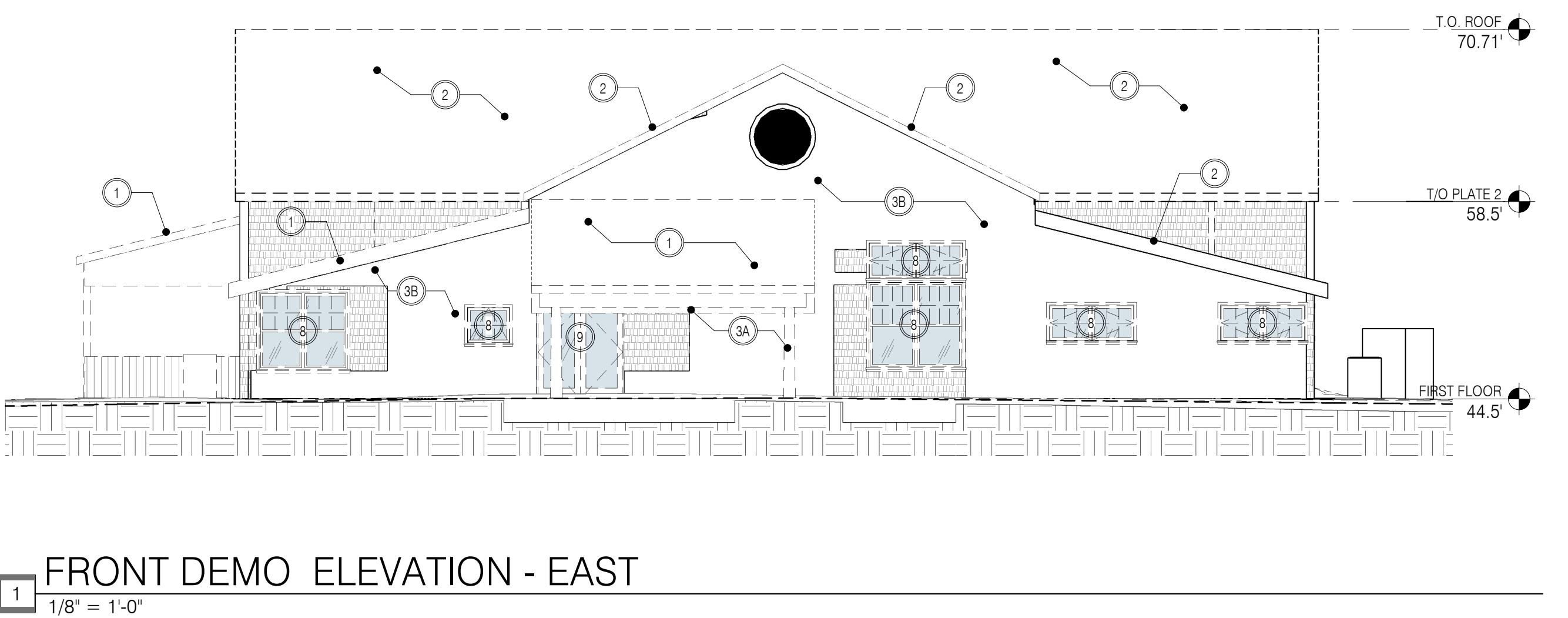
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STAMP:  
**NOT FOR CONSTRUCTION**

DRAWING NAME:  
DEMOLITION ELEVATIONS

SCALE: As indicated

SHEET: D2.00



## DEMO GENERAL NOTES

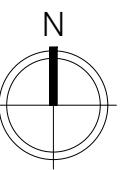
12" = 1'-0"

- DEMOLITION NOTES ARE FOR GUIDANCE ONLY AND ARE GENERAL IN NATURE. IT IS NOT THE INTENT TO POINT OUT EACH ITEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL ELEMENTS OF EACH ITEM NOTED AND/OR SHOWN TO BE DEMOLISHED, OR AS REQUIRED TO PROVIDE COMPLETED WORK IN ACCORDANCE WITH ALL CONTRACT DOCUMENTS.
- THE BUILDING WILL REMAIN IN USE DURING DEMOLITION AND CONSTRUCTION PHASES. CONTRACTOR SHALL TAKE CARE TO MINIMIZE IMPACT ON OWNER ACTIVITIES. DUST, DEBRIS AND NOISE SHALL BE CONTAINED WITH TEMPORARY PARTITIONS AS REQUIRED. EGRESS PATHS MUST ALSO REMAIN INTACT DURING CONSTRUCTION.
- PREPARE ALL AREAS WITHIN PROJECT SCOPE FOR NEW WORK. COORDINATE EXTENT OF REMOVALS WITH NEW WORK. ALL AREAS AFFECTED BY DEMOLITION OF EXISTING CONSTRUCTION OR REMOVAL OF NOTED ITEMS SHALL BE PATCHED TO MATCH EXISTING CONSTRUCTION AND/OR SUBSTRATE SHALL BE PROVIDED TO SUPPORT NEW FINISH. COORDINATE WITH NEW FINISHES TO BE APPLIED AT AREAS AFFECTED BY DEMOLITION WORK.
- REFER TO M.E.P. DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION. COORDINATE WITH M.E.P. DRAWINGS FOR REMOVAL AND DISCONNECTS OF UTILITIES REQUIRED FOR COMPLETION OF ALL WORK. COORDINATE WITH M.E.P. DRAWINGS FOR ALL NEW THROUGH WALL/FLOOR/ROOF CONSTRUCTION, ROOF CONSTRUCTION AS REQUIRED.
- ALL EXISTING PIPING AND CONDUIT BRANCHES NOTED TO BE REMOVED SHALL BE CAPPED INSIDE WALL OR UNDER SLAB OUT OF VIEW. THESE LOCATION SHALL BE PATCHED TO MATCH EXISTING FINISHES.
- CONTRACTOR TO PROVIDE TEMPORARY SHORING/BRACING AS REQUIRED AND/OR AS SHOWN. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- CONTRACTOR TO VERIFY DEMOLITION ITEMS TO BE TURNED OVER TO OWNER. ALL TACKBOARDS, MARKER BOARDS, DISPLAY CASES, SIGNS AND OTHER ACCESSORIES MOUNTED ON WALLS TO BE DEMOLISHED/MODIFIED SHALL BE REMOVED AND TURNED OVER TO OWNER. ALL MEDICAL EQUIPMENT, SUPPLIES AND RELATED ACCESSORIES AFFECTED BY DEMOLITION WORK SHALL BE REMOVED AND TURNED OVER TO OWNER.
- CONTRACTOR TO COORDINATE REMOVAL WORK WITH ABATEMENT DRAWINGS AND HAZMAT REPORTS.
- CONTRACTOR TO PROVIDE LIDAR SCANNING FOR EXISTING RADIANT SLAB PRIOR TO DEMOLITION. COORDINATE WITH LIDAR SCAN AS REQD.

## DEMO KEY & NOTES

12" = 1'-0"

- ① REMOVE EXISTING ROOF CONSTRUCTION, IN ITS ETERNITY
- ② REMOVE EXISTING ROOF FINISH TO SUBSTRATE AND PREP FOR NEW FINISH. PATCH AND REPAIR AS REQD. STRUCTURAL TRUSSES TO REMAIN
- ③ REMOVE PART OF EXISTING EXTERIOR WALL CONSTRUCTION, INCLUDING EXTERIOR PLASTER FINISH AND SUBSTRATE, WALL BASE AND WALL PROTECTION. PREP FOR NEW HEADER. TEMP WALL SUPPORT AS REQD.
- ③A REMOVE ALL OF EXISTING EXTERIOR WALL CONSTRUCTION, INCLUDING EXTERIOR PLASTER FINISH AND SUBSTRATE, WALL BASE, SOFFITS, STRUCTURE, AND WALL PROTECTION. PREP FOR NEW HEADER. TEMP WALL SUPPORT AS REQD.
- ③B REMOVE EXISTING EXTERIOR WALL EXIST SHINGLE FINISH TO SUBSTRATE PREP FOR NEW C.I. AND FINISH
- ④ REMOVE EXISTING INTERIOR PARTITION, INCLUDING WALL BASE AND WALL PROTECTION
- ⑤ REMOVE EXISTING CEILINGS AND ALL SUPPORTING SUSPENSION ASSEMBLIES, AND SOFFITS.
- ⑥ REMOVE EXISTING CARPET FLOORING AND PAD. PREP SUBSTRATE FOR NEW FINISHES.
- ⑦ REMOVE EXISTING DOOR AND FRAME TO ROUGH OPENING, INCLUDING HARDWARE
- ⑧ REMOVE EXISTING WINDOW UNIT TO ROUGH OPENING, INCLUDING WINDOW FRAME AND SUBFRAME, WINDOW TRIM AND TREATMENT
- ⑨ REMOVE EXIST CASEWORK
- ⑩ REMOVE EXISTING PLUMBING FIXTURES. REFER TO PLUMBING DWGS. FOR ADDITIONAL INFORMATION.



D2.00

# LYMES' SENIOR CENTER RENOVATION

TEC LANDSCAPE DESIGN, INC.

## NOTES:

NOTES:

- ALL FINAL ELEVATIONS AND DIMESNTIONS OF PLANTNG ARES WIL BE LAID OUT FOR CONTRACTOR PRIORE TO COMMENCEMENT.
- ALL PLANITING BOUNDAREIS TO BE FILED DETERMINED.
- ALL PLANT MATERIAL WILL BE SELECTED BY AND FILED DETERMEIED BY TEC.
- THIS PLAN IS FOR GRAPHIC RPRESENTATION OF THE LANDSCAPE ONLY.
- REFER TO CIVIL AND SITE DRAWINGS FOR ALL INFORMATION REGARDING CLEARNING, DRAINAGE, AND WALKWAYS AND SPECIFIC DEIMENSIONS OF ALL PROPOSED CONSTRUCTION.

## ADD ALTERNATE #1 - ALL LANDSCAPE PLANTINGS

26 Town Woods Road  
Old Lyme, CT



# PHASE: DD SET

# PRICING SET

JOB #:	790
DRAWN BY:	JC
CHECKED BY:	JC
ISSUE DATE:	MAR 06, 2023

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CONSTRUCTION

DRAWING NAME: **PROPOSED LANDSCAPE PLAN**

SCALE: 1" = 20'-0"

**SHEET:**

# SP.01

This hand-drawn landscape plan illustrates a property layout with various proposed and existing features. The property is bounded by a wavy line representing the property line. Key features include:

- Proposed Infiltrator:** Located in the upper left area.
- FE LOCATED SHED:** Located in the upper right area.
- NEW PUMPSTER:** Located at the center of a paved area.
- EXISTING BOCCE CPTS:** Located on the right side.
- NEW HEDGING AREAS:** Located on the right side.
- EXISTING FOREST:** Located on the right side.
- NEW CENTER:** A large rectangular area in the center.
- SHADOW:** Located on the right side of the central area.
- NEW SHADE TREE:** *WHITE OAK 3"-4" CAL.*
- PARKING BED:** *LOW GRASS/DIRT*
- LAWN:** Located on the left and right sides.
- (3) ORNAMENTAL TREES:** Located in the lower left area.
- NEW SHADE TREES:** *MAPLE, MATCHED*
- FLAGPOLE WITH TERRALIGHTS:** Located in the center.
- NEW WOOD GUARD RAIL:** Located on the left side.
- NEW GATE LOCATION:** *REVERSE EXISTING GATES*
- WALK-THROUGH:** Located at the bottom center.
- EXISTING WOOD GUARDRAIL:** Located on the right side.
- EXISTING CHAIN LINK FENCE:** Located on the left side.

NOTES:  
ALL FINAL ELEVATION OUT FOR CONTRACTOR  
ALL PLANTING BOUNDARIES  
ALL PLANT MATERIAL WILL BE PROVIDED  
THIS PLAN IS FOR GUIDANCE ONLY  
REFER TO CIVIL AND ARCHITECTURAL PLANS FOR  
CLEARING, DRAINAGE, CONSTRUCTION, AND PROPOSED CONSTRUCTION

ADD ALTE

# LYMES' SENIOR CENTER RENOVATION

26 Town Woods Road  
Old Lyme, CT

**Point One Architects**  
101 Shore Road  
Old Lyme, CT 06371  
860.434.7707  
[www.pointonearchitects.com](http://www.pointonearchitects.com)

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	KJ
BY:	GN
1:	MAR 06, 2023

### Rate Description

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NAME: \_\_\_\_\_  
CLOSING FLOOR PLAN &  
WALL ASSEMBLIES

$$1/8" = 1'-0"$$

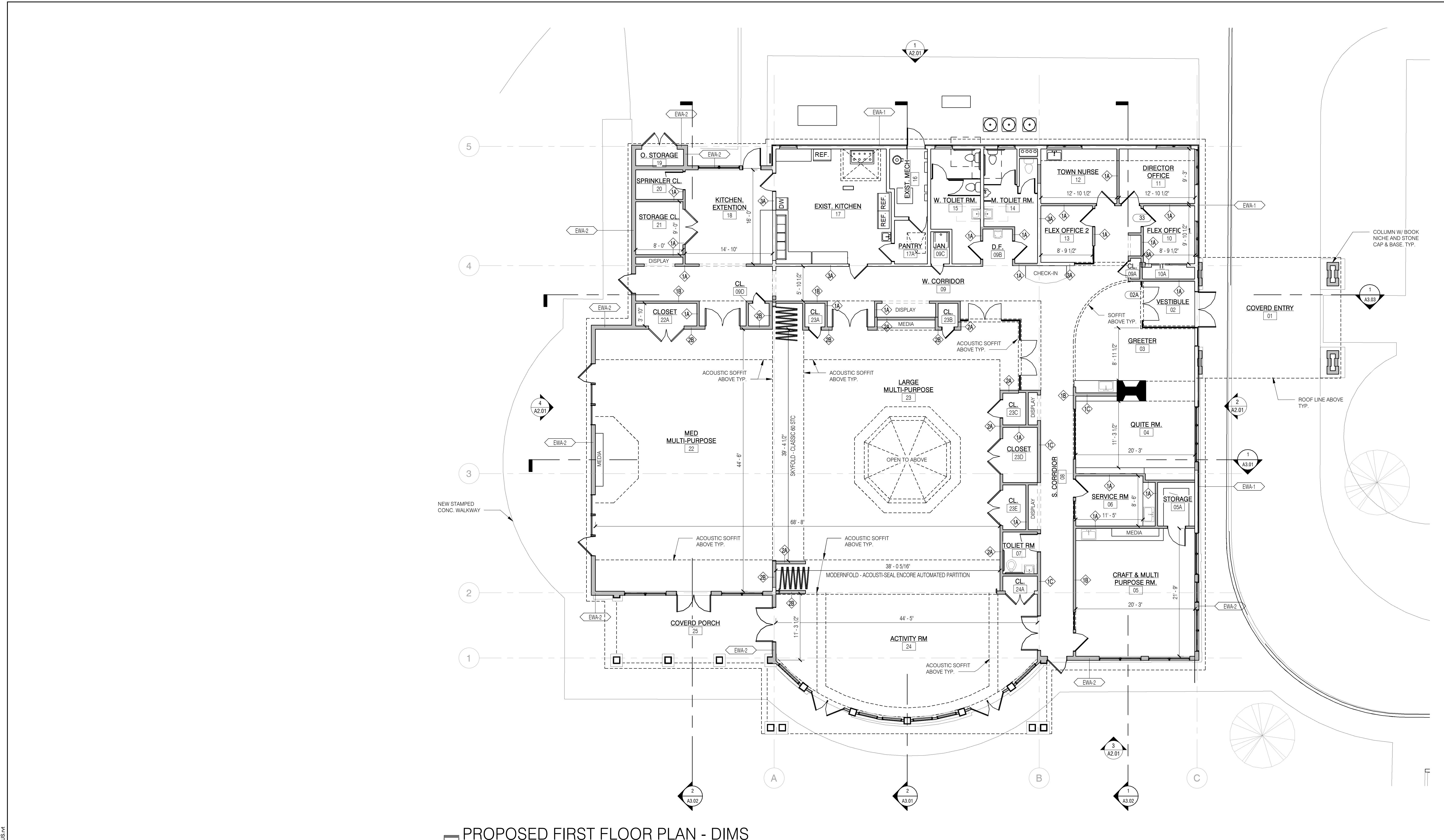
Journal of Health Politics, Policy and Law, Vol. 32, No. 4, December 2007  
DOI 10.1215/03616878-32-4 © 2007 by the Southern Political Science Association

A1\_01

PROPOSED FIRST FLOOR PLAN - DIMS

1  1'-0"

C:\Users\janus\Documents\RV\LOCAL\90\_Lyrics Senior Center\_RV\22\_Central\_PUA\_JANUS.M



# A1.01

# LYMES SENIOR CENTER RENOVATION

26 Town Woods Road  
Old Lyme, CT

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NAME: \_\_\_\_\_

1/8" = 1'-0"

Journal of Health Politics, Policy and Law, Vol. 32, No. 4, December 2007  
DOI 10.1215/03616878-32-4 © 2007 by the Southern Political Science Association

# A1 02

# A1.02

## PROPOSED ROOF PLAN

1  1/8" = 1'-0"

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# LYMES SENIOR CENTER RENOVATION

26 Town Woods Road  
Old Lyme, CT

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P:

WING NAME:  
PROPOSED FIRST FLOOR RCP

E: As indicated

T:

A1 03

**A 1.03**

# PROPOSED FIRST FLOOR RCP

1  $1/8"$  =  $1'-0"$

<u>LIGHTING SYMBOLS</u>	
	SURFACE MOUNTED FIXTURE
	PENDANT FIXTURE
	WALL MOUNTED FIXTURE WET LOCATION
	RECESSED LIGHT FIXTURE - 5" DIA.
	RECESSED LIGHT FIXTURE WET LOC. - 5" DIA.
-----	STRIP LIGHTING
	RECESSED EXHAUST FAN / LIGHT COMBO.

<u>MATERIAL LEGEND</u>		
	GWB-1 - PNT WHITE AFF - 9' 0" (U.O.N)	SEE SPEC
	ACT-1 - WHITE AFF - 9' 0" (U.O.N)	SEE SPEC
	WOOD - SHIP LAP	SEE SPEC



## A1.03

# LYMES SENIOR CENTER RENOVATION

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Old Lyme, CT

# DD SET

# PRICING SET

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KJ  
GN  
MAR 06, 2023

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NAME: \_\_\_\_\_

As indicated

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---

A 1.04

A 1.04

# PROPOSED FIRST FLOOR FLOOR FINISH PLAN

1

NOTE: RADIANT SLAB BELOW (ENTIRE BUILDING)  
PREP AND INSTALL ACCORDINGLY

## FLOOR FINISH LEGEND

LUXURY VINYL TILE

C:\Users\janus\Documents\RVT LOCAL\790\_Lymes' Senior Center\_RVT22\_Central POA\_JANUS.rvt

# LYMES' SENIOR CENTER RENOVATION

26 Town Woods Road  
Old Lyme, CT

# PHASE: DD SET PRICING SET

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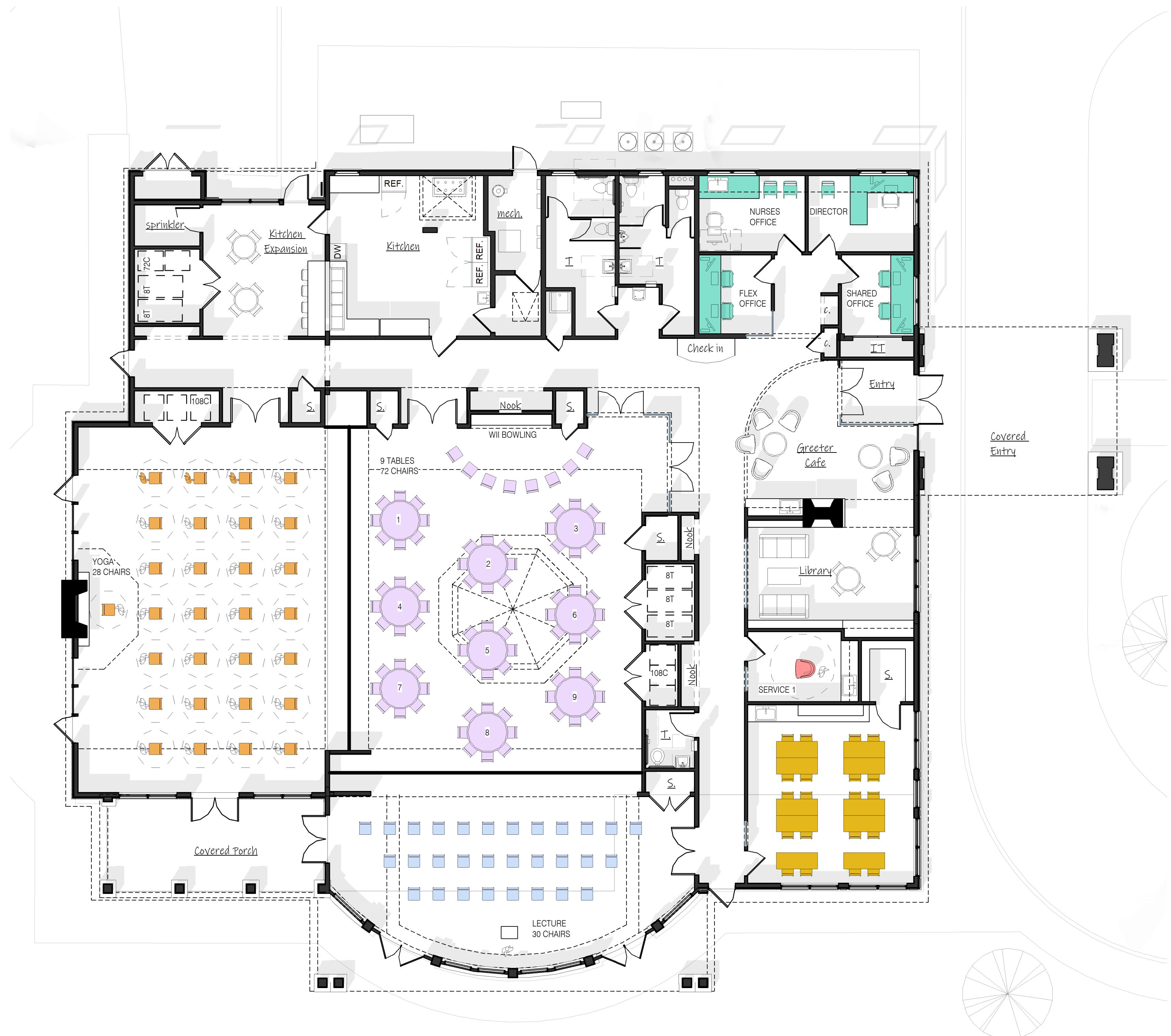
STAMP: **NOT FOR CONSTRUCTION**

DRAWING NAME:  
**PROPOSED FIRST FLOOR  
FURNISHNG PLAN**

SCALE: 1/8" = 1'-0"

**SHEET:**

# A1.05



## PROPOSED FIRST FLOOR - FURNISHING LAYOUT

1

SPACE: MED. MULTI RM  
ACTIVITY: CHAIR YOGA -  
28 CHAIRS

SPACE: LG. MULTI RM  
ACTIVITY: DAILY LUNCH & WII BOWLING  
9 TABLES  
72 CHAIRS

SPACE: SERVICE RM  
ACTIVITY: CLINIC / SERVICE SPECIAL  
1 SERVICE STATIONS

SPACE: ACTIVITY RM  
ACTIVITY: LECTURE / SPEAKER  
30 CHAIRS

SPACE: OFFICES  
ACTIVITY: NURSE  
FLEX BUISNESS RM  
SHARED OFFICE  
DIRECTOR OFFICE

ACE: SM. MULTI  
TIVITY: CRAFTS  
20 CHAIRS & 10 TRAINING TABLES



## A1.05

# LYMES' SENIOR CENTER RENOVATION

26 Town Woods Road  
Old Lyme, CT

**Point One Architects**  
101 Shore Road  
Old Lyme, CT 06371

www.pointonearchitects.com

1. *What is the primary purpose of the U.S. Constitution?*

# PHASE: DD SET

# PRICING SET

JOB #:	790
DRAWN BY:	KJ
CHECKED BY:	GN
ISSUE DATE:	MAR 06 2023

Revisions		
No.	Date	Description

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DRAWING NAME:  
**PROPOSED ELEVATIONS I &  
WINDOW SCHEDULE & TYPES**

SCAI E: As indicated

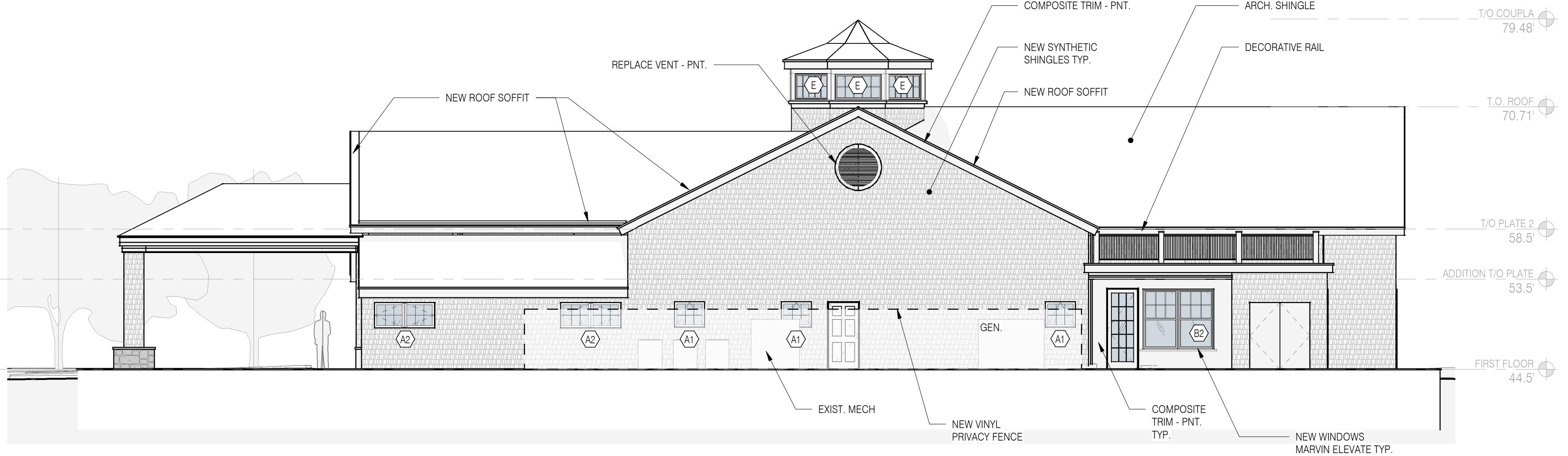
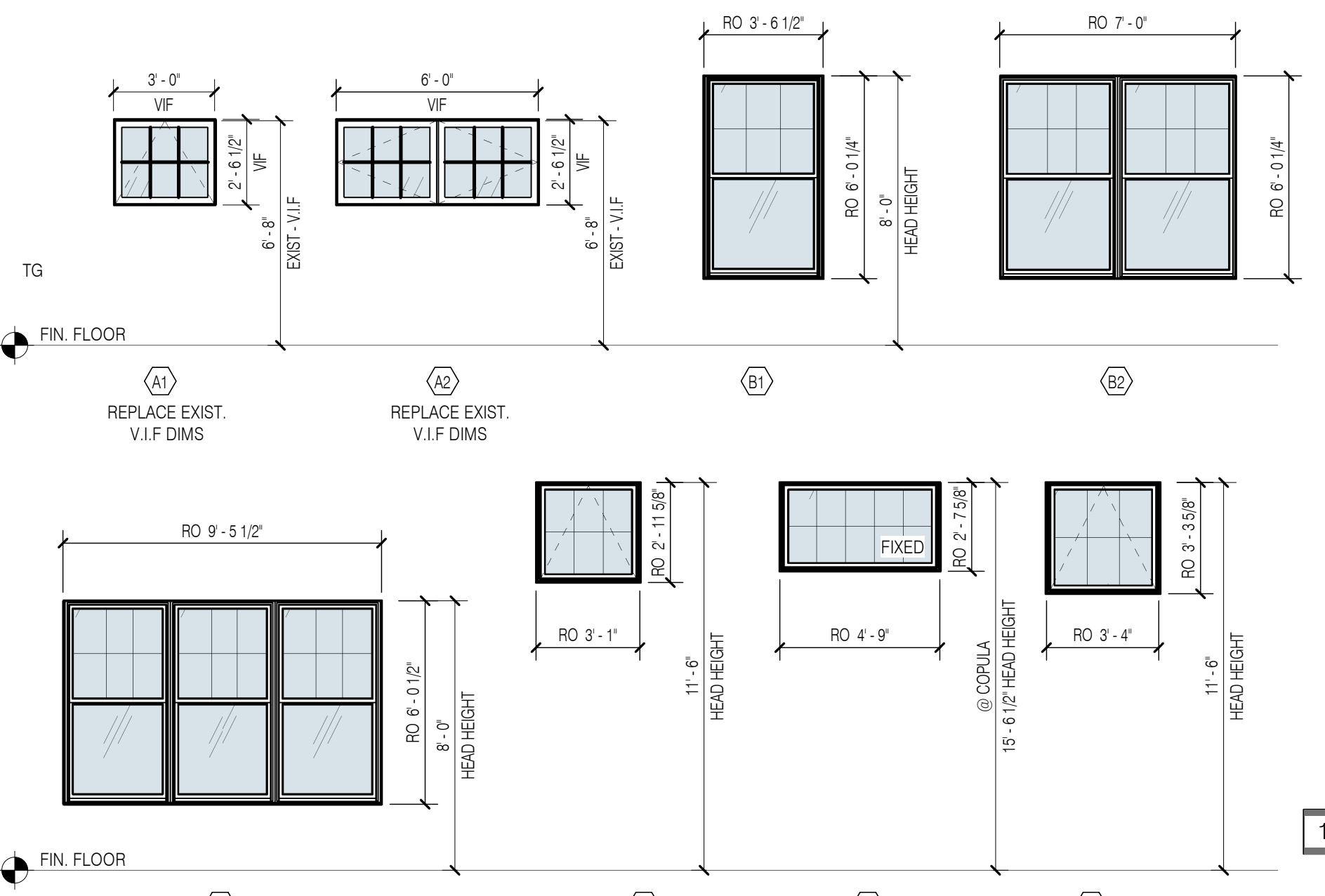
SHEET:

A2.01

## A2.01

11. *What is the primary purpose of the following statement?*

## **WINDOW TYPES**



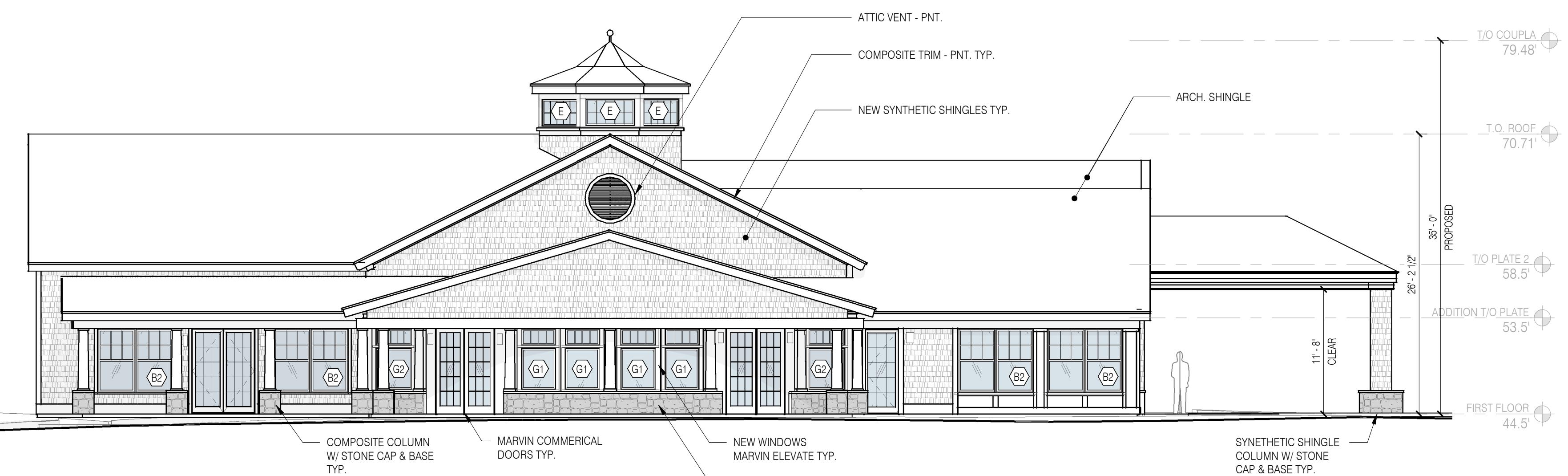
1 PROPOSED SIDE ELEVATION - NORTH

WINDOW TYPE NOTES:

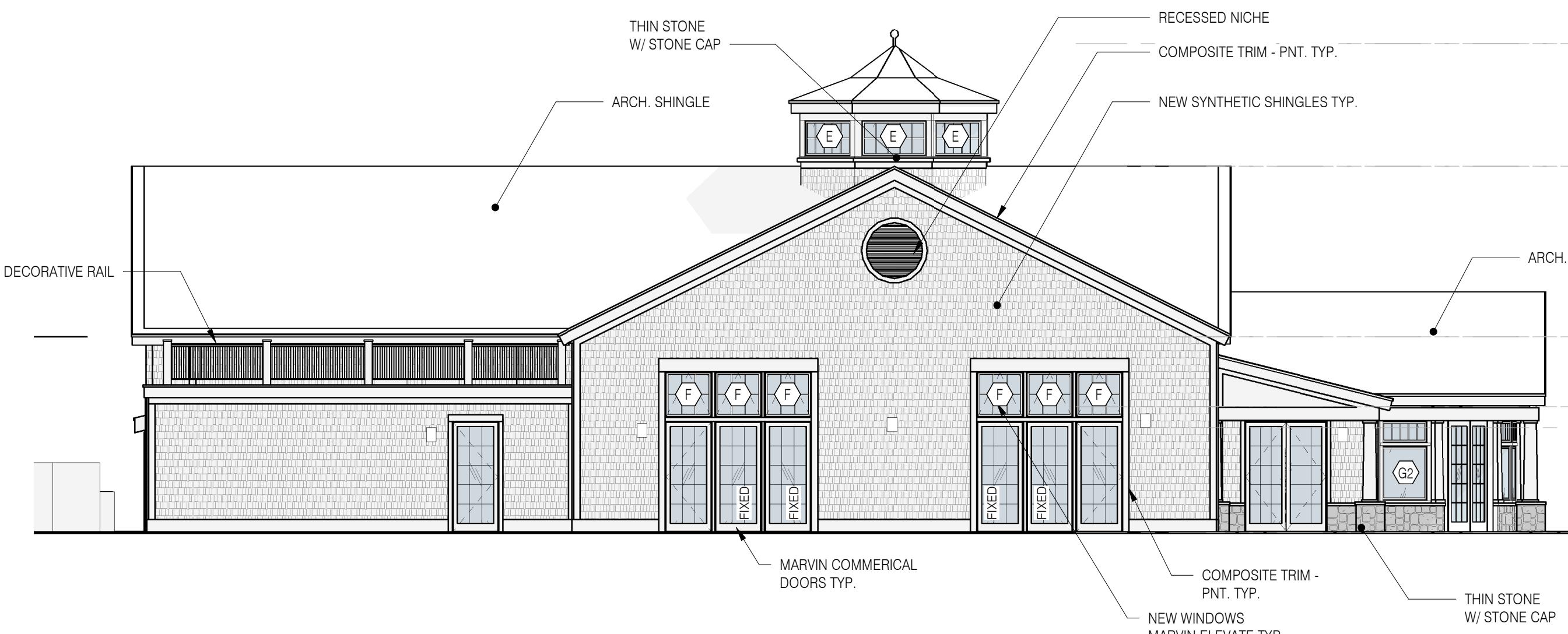
1. ALL MODEL NUMBERS REFER TO MARVIN ELEVATE COLLECTION  
LOW-E4 GLASS, SIMULATED DIVIDED LIGHT W/ SPACER BAR, INSECT SCREEN.
2. EXTERIOR CLAD COLOR TO BE: BY OWNER AND ARCHITECT
3. INTERIOR FINISH: TO BE PRE-PRIMED.
4. HARDWARE FINISH TO BE: BY OWNER AND ARCHITECT
5. REFER TO EXTERIOR ELEVATION DRAWING FOR OPERATION DIRECTION.
6. REFER TO EXTERIOR ELEVATION FOR WINDOWS WITH TEMPERED GLASS.
7. ARCHITECT AND OWNER TO REVIEW SHOP DRAWINGS FOR APPROVAL BEFORE ORDERING.
8. REFER TO EXTERIOR ELEVATION FOR EGRESS WINDOWS.
9. CONTRACTOR TO VERIFY ALL ROUGH OPENINGS PRIOR TO PURCHASE AND INSTALL.
10. EXTENSION JAMBS TO BE DETERMINED IN THE FIELD.
11. VERIFY ALL DOOR HANDING WITH OWNER AND ARCHITECT.
12. OWNER TO SELECT ALL WINDOW TREATMENTS, G.C. TO COORDINATE INSULATION.

## WINDOW SCHEDULE

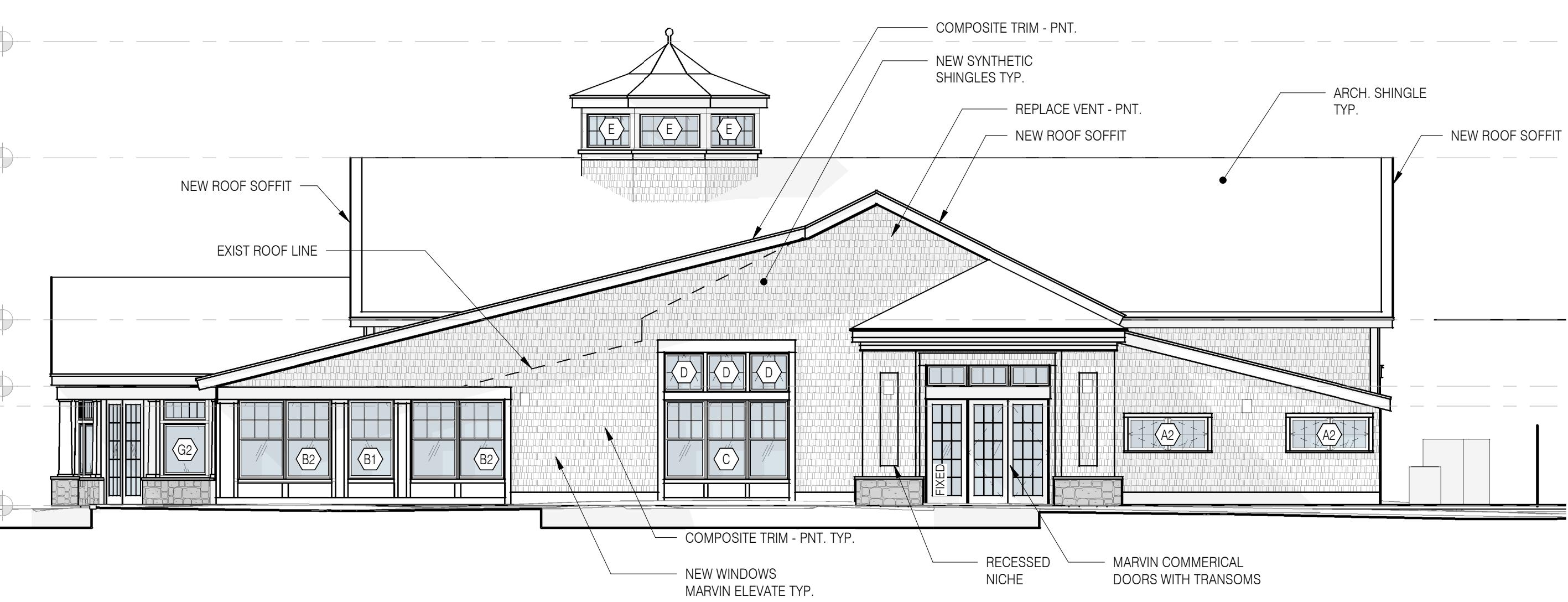
Type Mark	Window Type	Rough Openings		Manufacturer	Model	Hardware Finish	Comments
		Rough Width	Rough Height				
A1		3' - 0 1/2"	2' - 7"				REPLACE EXIST WINDOW - V.I.F.
A2		6' - 0 1/2"	2' - 7"				REPLACE EXIST WINDOW - V.I.F.
B1	Elevate Double Hung	3' - 6 1/2"	6' - 0 1/4"	Marvin Windows and Doors	ELDH4272		
B2	Elevate Double Hung	7' - 2"	6' - 0 1/2"	Marvin Windows and Doors	ELDH3060		
C	Elevate Double Hung	9' - 5 3/4"	6' - 0 3/8"	Marvin Windows and Doors	ELDH3872		
D	Elevate Awning	3' - 1"	2' - 11 5/8"	Marvin Windows and Doors	ELAWN3735		
E	Elevate Casement Picture	4' - 9"	2' - 7 5/8"	Marvin Windows and Doors	ELCAP5731		
F	Elevate Awning	3' - 5"	3' - 3 5/8"	Marvin Windows and Doors	ELAWN4139		
G1 - B	Elevate Casement Picture	3' - 5"	3' - 11 5/8"	Marvin Windows and Doors	ELCAP4147		Mulled
G1 - T	Elevate Awning	3' - 5"	1' - 7 5/8"	Marvin Windows and Doors	ELAWN3719		Mulled
G2 - B	Elevate Casement Picture	4' - 9"	3' - 11 5/8"	Marvin Windows and Doors	ELCAP5747		Mulled
G2 - T	Elevate Casement Picture	4' - 9"	1' - 7 5/8"	Marvin Windows and Doors	ELCAP5719		Mulled



# PROPOSED SIDE ELEVATION - SOUTH



# PROPOSED REAR ELEVATION - WEST



# PROPOSED FRONT ELEVATION - EAST



