

Old Lyme ZBA – VARIANCE APPLICATION FORM

ZBA Case # 25-13

Premises: Street Address 125 Shore Road

Assessor's Map # 43 Lot # 4 Lot Area 45,700 sq. ft.

Zoning District: RU40 Overlay Zone(s) _____

Owner Name: Thunder Mountain LLC Tel. # 203-347-9200

Mailing Address 275 Post Road East Suite 10 #5180 Westport CT 06880

Email address fnkeystone@earthlink.net

Applicant Name: <same as applicant> Tel. # 267-367-9641
(if not Owner)

Mailing Address 426 20th Ave NE St. Petersburg FL 33704

Email address tmaeter@icloud.com

Authorized Representative: Joe Wren, PE (Indigo) (Agent) Tel. # 860-388-9343

Mailing Address 40 Elm Street, 2nd Floor Old Saybrook, CT 06475

Email address jwren@indigo-land.com

Correspondence to be addressed to (chose one): () Owner, () Applicant, ☒ Authorized Rep.

Has a previous variance application or appeal been filed on these premises? () Yes ☒ No <none known>

If yes, Date: _____ ZBA Case # _____ Board Decision* _____

* Attach copy of ZBA Notice of Decision

1. LIST OF VARIANCES(S) REQUESTED:

Section No.	Allowed/Required per regulations	Existing	Proposed
4.3.1	100' Tidal Waters Protection Area (from CJL)	34.2' Paved Driveway* 27.3' Shed** 82.0' Gazebo** 90.6' Ex. Septic Tank (leaching closer)	66.4' House 62.1' Pool Coping 66.2' AC pad 60.1' Raised Patio 72.2' Well
4.10.3	100' CT River Setback	34.2' Paved Driveway* 27.3' Shed** 82.0' Gazebo** 90.6' Ex. Septic Tank (leaching closer)	66.4' House 62.1' Pool Coping 66.2' AC Pad 60.1' Raised Patio 72.2' Well

*The entire paved driveway on the subject property is proposed to be removed.

**The shed and gazebo were recently removed from the site.

OR - refer to attached Zoning Table Appendix 1 (per template provided)

For Official Use:

Date application submitted to Land Use Office: 12/5/25

Fees Paid: Variance application Fee ✓ Recording Fee ✓

Date application to be 'Received': _____ (35 days or next ZBA Regular meeting,

Date Public Hearing scheduled: _____ whichever is soonest)

Effective - July 1, 2025

Variance Application Page | 1

2. VARIANCE IS REQUESTED TO ALLOW: (Briefly describe any proposed changes in setbacks, Use, total floor area, building/structure coverage, total ground coverage, height, and structure dimensions):

The proposed variances are requested to allow the demolition of the existing non-conforming house (a non-conforming shed & gazebo were recently removed) and the construction of a new FEMA compliant dwelling, inground pool, detached garage, and associated improvements partially within CT River and Tidal Waters setbacks. All existing non-conforming yard setbacks will be eliminated and all other zoning dimensional criteria, i.e. coverage, GFA, height, and yard setbacks will be met.

3. STRICT APPLICATION OF ZONING REGULATIONS WOULD RESULT IN UNUSUAL HARDSHIP* BECAUSE:

(Support topological claims w/photos, survey):

The subject property is an irregularly shaped triangular lot and is adjacent to extensive tidal wetlands along its longest side (approx. 425 +/- feet). Due to RU-40 yard setbacks combined with CT River and Tidal Waters setbacks, approximately 94% of the lot is encumbered by restrictive setbacks. The existing house was built ca. 1926 and the lot was created prior to zoning regulations being adopted including all yard and resource setbacks.

4. THE UNUSUAL HARDSHIP* IS NOT SHARED BY OTHERS IN THE DISTRICT BECAUSE:

The lot is unique due to its irregular shape and proximity to extensive tidal wetlands coupled with its extremely small area of conforming land (6%) outside of all yard and resource setbacks.

5. DESCRIBE PROPOSED REDUCTIONS IN LEGAL PRE-EXISTING NON-CONFORMITIES, IF ANY:

The following is a list of proposed reductions and eliminations of existing non-conformities:

- | | |
|--------------------------------------------------------------------------------------------|-----------------------------------------------------------------|
| a) 50' Street Line Setback - eliminated (ex. 25.1 feet, prop. 50.0 feet) | |
| b) 35' Other Line Setback (South) - eliminated (ex. 18.7 feet, prop. 35.0 feet) | |
| c) 35' Rear Yard Setback along marsh - eliminated (ex. 24.0 feet to shed, prop. >55 feet)* | * Shed & Gazebo recently removed & paved driveway to be removed |
| d) 50' Coastal Resource Setback - eliminated (ex. 24.0 feet to shed, prop. > 50 feet) * | |
| e) 100' CT River Setback - reduced (ex. 24.0 feet to shed, prop. > 50 feet) * | |

6. REQUESTED VARIANCE(S) ARE IN HARMONY WITH THE PURPOSE AND INTENT OF OLD LYME ZONING REGULATIONS AND WILL NOT ADVERSELY AFFECT THE COMPREHENSIVE PLAN OF ZONING BECAUSE:

The proposed project is in harmony with the purpose and intent of the zoning regulations and the comprehensive plan due to the following:

- a) FEMA compliance
- b) Health code compliance
- c) Full building, fire, safety code compliance
- d) Enhancements to stormwater runoff volume and quality and landscaping diversity.
- e) Elimination and reduction of several existing zoning non-conformities
- f) Enhancement of subject property value and of surrounding properties.

(For all of above responses, please attach supplemental sheet(s), if space provided is insufficient.)

*Please review ZBA 'Residential Variance Application Guide' for additional information on the legal requirements for granting a variance and an explanation of the definition of "Unusual Hardship". The 'Guide' is available on the Old Lyme ZBA website: <https://www.oldlyme-ct.gov/428/Zoning-Board-of-Appeals>

7. CHECKLIST OF REQUIREMENTS

ALL DOCUMENTATION MUST BE SUBMITTED IN TRIPLICATE. PDF electronic copies also helpful

- ✓ Copy of Health Dept. approval for the proposed plan and/or activity, and, if a residence, whether there is a change in seasonal or year-round use and the number of bedrooms.
- ✓ A Certified Plot Plan (as described in Section 20.3.4.1); **OR**, for minor improvements only, a Modified Plot Plan (as described in Section 20.3.4.2), including *drawn-to-scale* lot dimensions, location and footprints of **existing and proposed** buildings and structures; locations of well and septic system, when applicable, etc.
- ✓ A Zoning Table, either attached separately as **Appendix 1**, or included on Certified Plot Plan. Must list existing non-conformity and proposed increases or decreases in non-conformity (**see attached templates**), including calculations of existing and proposed Floor Area, Building/Structure Coverage, and Total Ground Coverage (per Section 8 and Section 3 Definitions) expressed in square feet and % lot area - adjusted for wetlands area, as required. ***Note**, an increase in volume in a setback is an increase in non-conformity and would require a variance.*
- ✓ Floorplans of existing structures being modified or removed **AND** any proposed new construction, revisions, or additions, including dimensions.
- (✓) Elevation drawings of existing structures being modified or removed **AND** any proposed new construction, including a supplemental overlay drawing depicting the changes in elevations, when applicable.
- ✓ Photos of existing structures and area(s) to be altered.
- ✓ Copy of owner's **deed** to premises.
- ✓ Copies of current and past Tax Assessment field cards dating back 20 years. .
- () Sketch map showing locations of neighboring buildings, wells and septic systems.
- () Staking of corners of property and proposed new construction by Licensed Surveyor.
- ✓ \$260 Variance **Application fee**, which includes \$60 State fee.
- ✓ \$70 Initial **Recording fee** (added \$5 per-page fee may be required); fee returned if variance denied.

All above information is required unless specifically waived by Old Lyme Zoning Enforcement Official.

Additional information that may be required based on property location or proposal:

- Coastal Boundary Zone Requirements (per Section 4.2)
- Adjoining Coastal Resources Requirements (per Section 4.2.12)
- Tidal Waters Protection requirements (per Section 4.3)
- Flood Hazard Regulation Requirements (per Section 4.4)
- Conservation Zone Requirements – Gateway (per Section 4.10)
- Aquifer Protection Zone Requirements (per Section 17)
- Additional approvals/permits: Inland Wetlands Review, Historic District Review, Driveway permit
- When a "legal pre-existing Non-conforming Use" is claimed, evidence that said "Use" is legal may be required. Please discuss requirement with Zoning Enforcement Officer.

Old Lyme ZBA – VARIANCE APPLICATION FORM

ZBA Case # _____

8. DOES THE REQUESTED VARIANCE INVOLVE:

- ☐ A CHANGE OF USE ☐ Yes, ☒ No
- ☐ AN EXTENSION OR EXPANSION OF A NON-CONFORMING USE ☐ Yes, ☒ No
- ☐ AN EXTENSION OR EXPANSION OF A NON-CONFORMING STRUCTURE ☐ Yes, ☒ No
- ☐ AN INCREASE IN NONCONFORMY ON AN NONCONFORMING LOT ☒ Yes, ☐ No
- ☐ NEW CONSTRUCTION OR RECONSTRUCTION OF A PRINCIPAL BUILDING ☒ Yes, ☐ No
- ☐ EXPANSION OF THE HABITABLE SPACE ON THE PROPERTY ☒ Yes, ☐ No

9. IS A COASTAL SITE PLAN REVIEW REQUIRED (per Zoning Regs. Section 4.2) ☒ Yes, ☐ No

If YES, attach Coastal Site Plan Review Application, with required documentation, and \$100 fee.

*Note: any request for exemption (per Section 4.2.3) must receive **prior** written approval by the ZEO.*

10. IS THIS PROPERTY SUBJECT TO ANY OF THE FOLLOWING OLD LYME ZONING REGULATIONS:

- ☐ "ADJOINING COASTAL RESOURCES" (Section 4.2.12) ☒ Yes, ☐ No *complies
- ☐ "TIDAL WATERS PROTECTION" (Section 4.3) ☒ Yes, ☐ No
- ☐ "FLOOD HAZARD REGULATIONS" (Section 4.4) ☒ Yes, ☐ No
- ☐ "CONSERVATION ZONE REQUIREMENTS – GATEWAY" (Section 4.10) ☒ Yes, ☐ No

11. IS ANY PORTION OF PROPERTY LOCATED WITHIN 500' OF A TOWN LINE? ☐ Yes, ☒ No

- ☐ If yes, per CGS Chapter 124, Section 8-7d, Town Clerk of neighboring community must be notified by registered mail within 7 days of 'receipt' of application; completed by Old Lyme Land Use staff.

OWNER/APPLICANT COMMITMENTS

I (WE) CERTIFY that the statements made hereinabove and the documents submitted herewith are true to the best of my (our) knowledge and belief. *NOTICE: If the Board determines or discovers that information submitted in support of the variance, if granted, was incorrect or invalid, the Board may, following a public hearing with notice to the subject property owner, void such approval (per Section 20.7.e).*

I (WE) CONSENT to allow Zoning Board of Appeals members access to the property for informal, independent site visits, for the purpose of evaluating this application prior to Board rendering its decision.

OWNER <Please see attached owner authorization> 12-4-25
Date

APPLICANT *Mary 2 Monte* 12-4-25
Date

Per Old Lyme Town Ordinance Chapter 47-I, I acknowledge the cost of processing and review of this application may be passed on to the Applicant.

APPLICANT *Mary 2 Monte* 12-4-25
Date

APPENDIX 1 - ZONING TABLE:

Template attached () OR included on Certified Plot Plan ☒

If attached, Template used: Section 8.8 Schedule **A-2** () OR Section 8.9 Schedule **B-2** ()

APPENDIX 2 - NAMES AND ADDRESSES OF ALL PROPERTY OWNERS WITHIN 100' OF THIS PROPERTY.

(Including across the street) <see attached>

An acceptable list of the abutters and addresses of record can be generated using *MapGeo*, which can be accessed via the “**GIS Land Maps**” link on the Town of Old Lyme Website:

<https://www.oldlyme-ct.gov/>

Please be advised that Old Lyme ZBA procedures for variance applications **require the applicant notify each abutting landowner of record within 100 feet of the subject property of the Public Hearing, by mailing a copy of the ‘Legal Notice’ of the Public Hearing via United States Postal Service ‘Certificate of Mailing’ (Form 3817 or Form 3665, or as updated by the US Postal Service).**

Old Lyme Land Use staff will provide a copy of the ‘Legal Notice’ to the applicant once the ZBA has set the date of the Public Hearing. **The ‘Certificate of Mailing’ must be dated no less than 10 days prior to the Public Hearing.**

The Certificate(s) of Mailing must be submitted to the Zoning Enforcement Official **prior to the Public Hearing**, or the hearing may be delayed or continued.

Frank Nocito

To: Via Email: tmaeter@icloud.com
Cc: fnkeystone@earthlink.net
Subject: RE: Submission for 125 Shore Road

Reference :

Frank Nocito Managing Member

THUNDER MOUNTAIN LLC

275 Post Road East Suite 10 Unit 5180

Westport CT 06880

93-4149692

Via Email: tmaeter@icloud.com

Good morning Mrs., Tracy L, Maeter

Frank Nocito as the managing member the Thunder Mountain LLC.

This letter will serve to authorize Mrs. Tracy L. Maeter and sign for the submission of the new plan's submission to the Town planning,

for the application of 125 Shore Road Old Lyme CT


Frank Nocito
Managing Member

12/5/2025

Frank Nocito / President
Keystone Capital Corporation
275 Post Road East
Ste 10 Unit 5189
Westport, CT 06880
Mobile Phone: (917) 468-9655
Tel: (203) 347-9200 * Fax: (860) 239-1017
Email: FNKeystone@earthlink.net
www.KeystoneCapitalCorporation.com



Promoting
healthy
communities

Date: March 10, 2025

To: Fedus Engineering, LLC

Subject Property: 125 Shore Road, Old Lyme CT

Plan Designed by: Gregg Fedus, PE Plan Date: 1/28/2025 Last Revision Date: 3/7/2025 Date Paid: 2/4/2025

The plan and associated information submitted to our office on 2/4/2025 for a proposed a prosed building addition with a design size increase from 2 bedrooms to 3 bedrooms with private well water and private septic at the above-stated property, in the Town of Old Lyme, is:

☒ **Approved: Complies with the requirements of Section 19-13-B103 and Section 19-13-B100a of the Connecticut Public Health Code.**

Conditions/Comments:

1. The proposed SSDS must be installed. A separate permit to construct is required
2. The existing SSDS to be properly abandoned
3. All tanks requiring risers shall maintain the original covers on the tanks, have riser covers that weigh at least 100lbs., or install a secondary safety device below the riser to prevent individuals from falling into a tank. All below grade tank or riser cover handles shall contain or be fitted with a material that can be located with a metal detector.

The following are not currently required by CT Public Health Code and/or LLHD Plan Review Policies but are encouraged/recommended to protect the proposed structures, onsite septic system, water treatment discharge system and/or water supply/groundwater.

1. All proposed well arcs should be kept on the property they serve (to allow neighbors full use of their properties) and all well casings should be located at least 10' from driving surfaces and/or structures to prevent future damage and allow for future maintenance of the wells.
2. It is strongly encouraged to keep the original tank covers on all tanks requiring risers to prevent the escape of sewer gases and prevent individuals from falling into tanks.
3. The designer should take into consideration the location of potential future water treatment discharge systems, rain gardens and footing/gutter drain discharge locations.

Additional Requirements and Recommendations:

Installer to submit scaled and/or tied as-built to LLHD upon 30 days of completion with distances to flow line at house, inlet and outlet cover of tank, d-boxes, cleanouts and ends of leaching rows, well, footing/curtain drains and between tie points. In addition, provide the name of installer, date, house location and street/directional arrow.

****This LLHD health approval is from an approved site plan from early 2025 for the subject property. The proposed septic system for this new site plan is in the same location and uses the same soil testing results. An updated plan will be reviewed by LLHD and an updated approval will be provided as soon as received.**



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communities

***Please note that soils testing indicated on this plan are representative of actual soils conditions and additional deep test pits and percolation tests may be required by the Ledge Light Health District if the building or system location is altered and/or the suitable septic area is limited. Applicant should be aware that subdivision approval IS NOT sufficient for individual lot approval. Each lot must be reviewed by the Ledge Light Health District at the time of building permit application in order to obtain lot approval and issue a septic/well permit.**

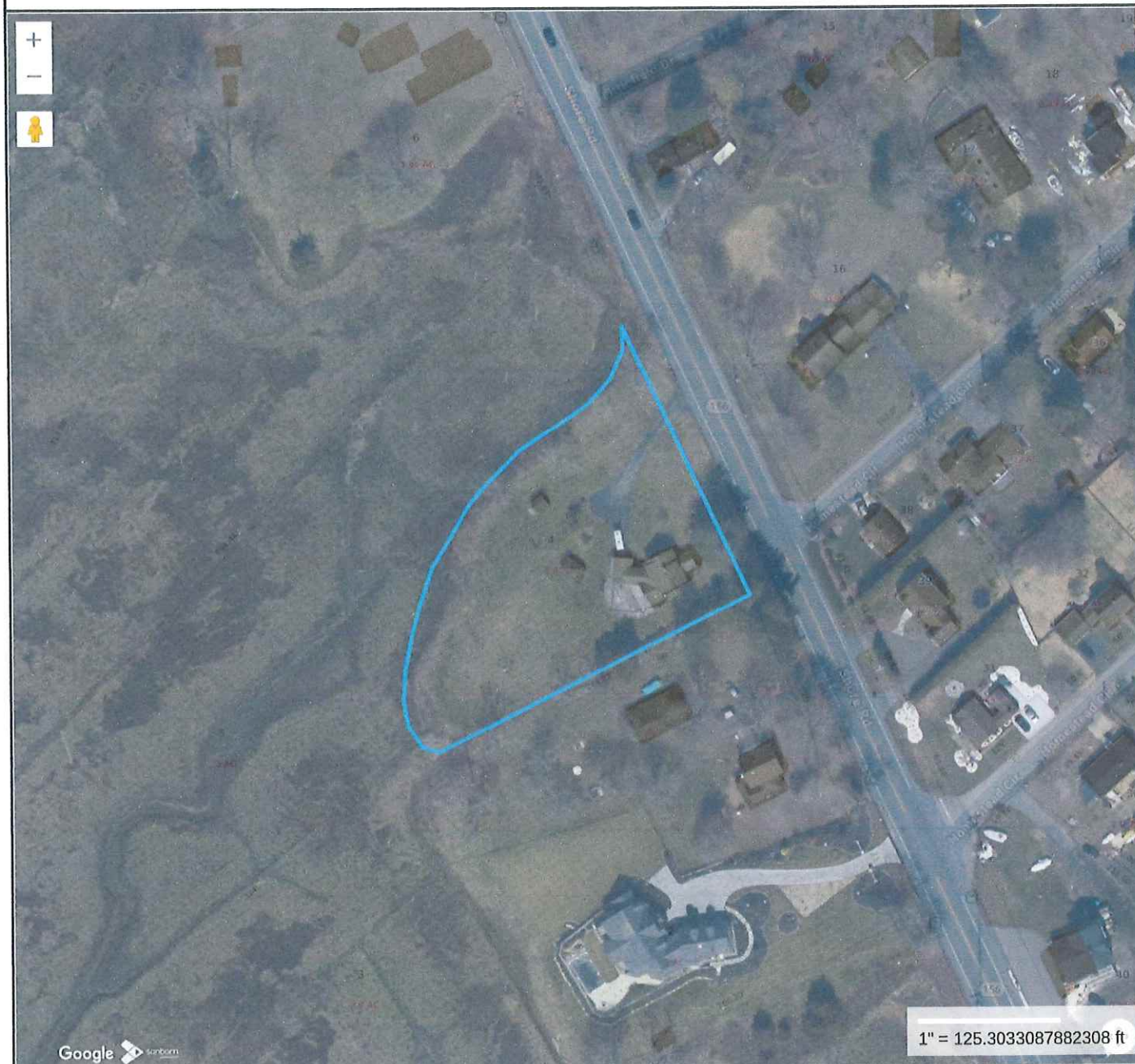
Please call me at 860-910-0399 with any questions regarding this matter..

Sincerely,

A handwritten signature in black ink, appearing to read "Cheryl Haase", written in a cursive style.

Cheryl Haase
Senior Environmental Technician

125 Shore Road OL 2023 Aerial

**Property Information**

Property ID 43-4
Location 125 SHORE RD
Owner THUNDER MOUNTAIN LLC

**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town of Old Lyme, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 08/29/2025
Data updated on a daily basis

Print map scale is approximate.
Critical layout or measurement
activities should not be done using
this resource.

Rear View



River View

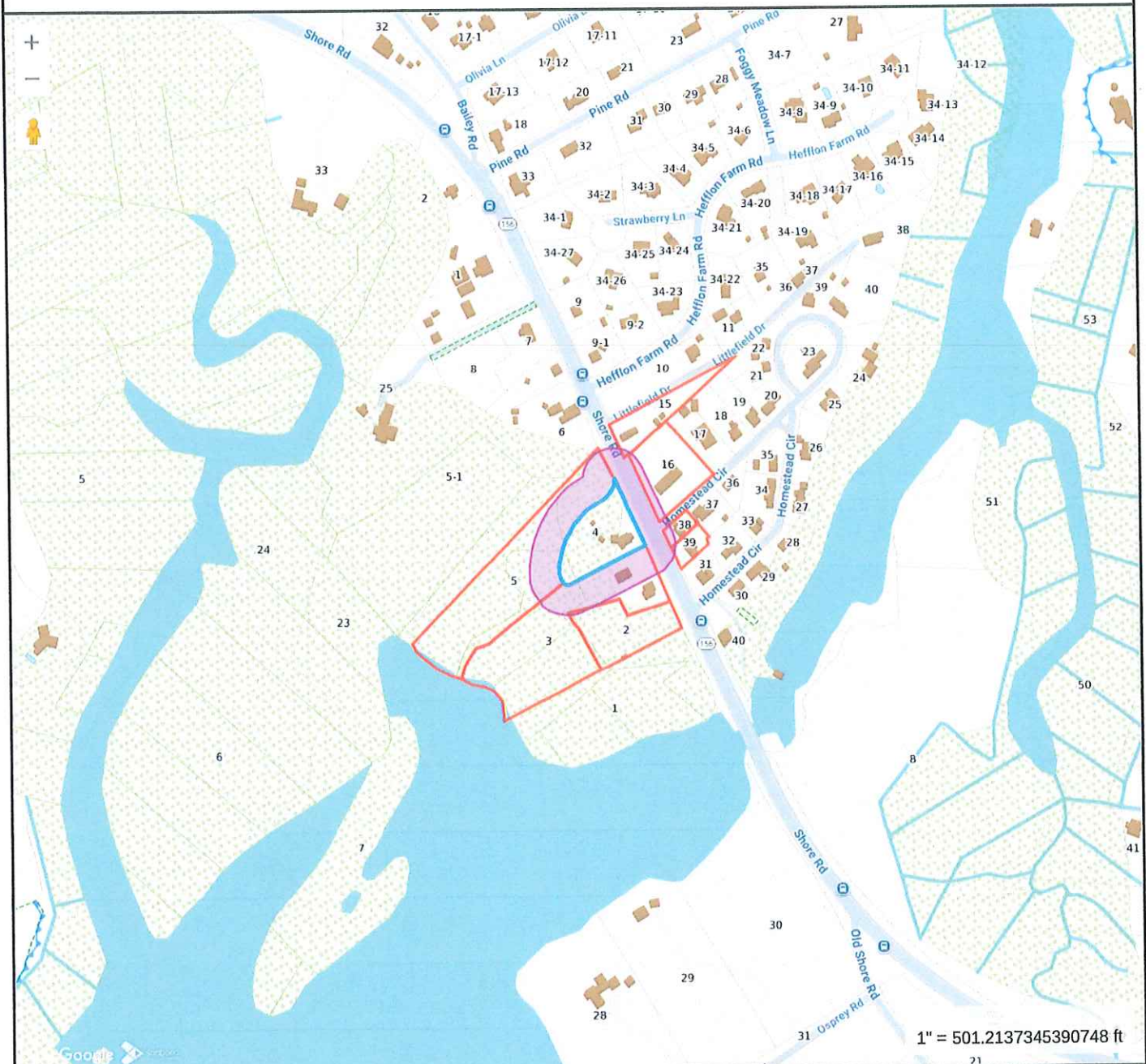


Street View



100' Abutters to 125 Shore Rd OL Oster/Maeter Residence						
ID	Site Address	Owner Name	Owner Address	Owner City	Owner State	Owner Zip
43-15	118 SHORE RD	HENDERSON DAVID & HENDERSON MARY	565 RJOUTE 81	KILLINGWORTH	CT	06419
43-16	4 HOMESTEAD CIR	TAYLOR SARAH & NATHAN (SURV)	4 HOMESTEAD CIR	OLD LYME	CT	06371
43-2	131 SHORE RD	SWANEY RONALD J	131 SHORE RD	OLD LYME	CT	06371
43-3	129 SHORE RD	MORELLI FRANK & SUZANNE	129 SHORE RD	OLD LYME	CT	06371
43-38	1 HOMESTEAD CIR	SPEERS SANDRA & SPEERS SCOTT E EST	1 HOMESTEAD CIR	OLD LYME	CT	06371
43-39	126 SHORE RD	DANGELO KRISTINE M & STEPHEN L (TIC)	126 SHORE RD	OLD LYME	CT	06371
43-5	123 SHORE RD	THUNDER MOUNTAIN LLC	275 POST RD E STE 10 #5189	WESTPORT	CT	06880-9992

125 Shore Rd Abutters Map



Property Information

Property ID 43-4
Location 125 SHORE RD
Owner THUNDER MOUNTAIN LLC

MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

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Geometry updated 08/29/2025
Data updated on a daily basis

Print map scale is approximate.
Critical layout or measurement
activities should not be done using
this resource.



After recording return to:
Thunder Mountain LLC
c/o DiBartolomeo Law Firm
300 Federal Road, Suite 108
Brookfield, CT 06804

WARRANTY DEED

TO ALL PEOPLE TO WHOM THESE PRESENTS SHALL COME, GREETING:

KNOW YE, that 50 Hatchetts Hill Road LLC, a Connecticut Limited Liability Company with its principal place of business at 61-1 Buttonball Road Old Lyme, Connecticut, hereinafter referred to as "Grantor," for the consideration of EIGHT HUNDRED SEVENTY FIVE THOUSAND AND 00/100 AND 00/100 Dollars (\$875,000.00), received to its full satisfaction of Thunder Mountain LLC, a Connecticut Limited Liability Company with its principal place of business at 275 Post Road E, Suite 10, 5189, Westpoort, Connecticut 06880, hereinafter referred to as "Grantee," does give, grant, bargain, sell, convey and confirm unto the said "Grantee," all that certain parcel of land, with any buildings and improvements thereon, located in the Town of Old Lyme, County of New London and State of Connecticut, being more particularly bounded and described as in Schedule "A" attached hereto and made a part hereof.

TO HAVE AND TO HOLD the above granted and bargained premises, with the appurtenances thereof, unto the said "Grantee," its successors and assigns forever to them and their own proper use and behoof.

AND ALSO, the said "Grantor" does for its successors and assigns, covenant with the said "Grantee," its successors and assigns, that at and until the ensealing of these presents, Grantor well seized of the premises as a good indefeasible estate in FEE SIMPLE; and has good right to bargain and sell the same in manner and form as is above written; and that the same is free from all encumbrances whatsoever, except as hereinbefore mentioned.

AND FURTHERMORE, the said "Grantor," does by these presents bind the heirs, successors and assigns of such Grantor forever to WARRANT AND DEFEND the above granted and bargained premises to the said "Grantee," its successors and assigns, against all claims and demands whatsoever, except as hereinbefore mentioned.

WARRANTY DEED

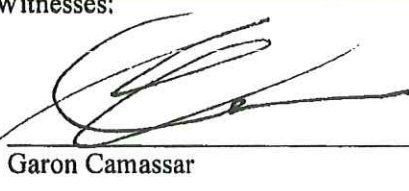
PECK & TUNESKI, P.C


10 PEARL STREET, NEW LONDON, CONNECTICUT 06320 | (860) 447-3370
118 NEW LONDON TURNPIKE, NORWICH, CONNECTICUT 06360 | (860) 886-9225

IN WITNESS WHEREOF, Grantor has caused these Presents to be executed this 28th day of August, 2024.

Signed, Sealed and Delivered in the presence of:

Witnesses:


Garon Camassar


Leslie A. Johnson

50 Hatchetts Hill Road LLC


By: Ronald Swaney, Member

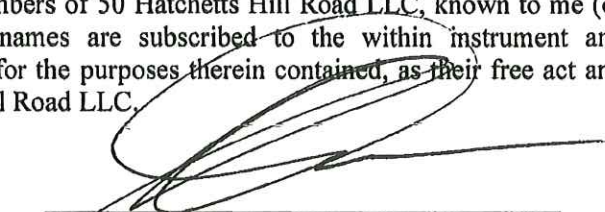

By: Joanne Foley, Member

STATE OF CONNECTICUT

COUNTY OF NEW LONDON

)
) ss: New London
)

On this the 28th day of August, 2024, before me, the undersigned officer, personally appeared Ronald Swaney and Joanne Foley, Members of 50 Hatchetts Hill Road LLC, known to me (or personally proven) to be the persons whose names are subscribed to the within instrument and acknowledged that such signature was executed for the purposes therein contained, as their free act and deed and the free act and deed of 50 Hatchetts Hill Road LLC.


Garon Camassar
Commissioner of Superior Court

WARRANTY DEED

PECK & TUNESKI, P.C

10 PEARL STREET, NEW LONDON, CONNECTICUT 06320 | (860) 447-3370
118 NEW LONDON TURNPIKE, NORWICH, CONNECTICUT 06360 | (860) 886-9225

Schedule "A"

125 Shore Road, Old Lyme, CT 06371

FIRST TRACT

A certain piece or parcel of land with buildings and improvements thereon situated in the Town of Old Lyme, County of New London and State of Connecticut, bounded and described as follows:

NORTHERLY: by land formerly of Thomas Chadwick heirs

EASTERLY: by the highway, known as the Lower Road to New London

SOUTHERLY: by land of Walter Bugbee, Millie C. Bugbee, Mary B. Roger, Richard C. Bugbee, Walter S. Bugbee, Jr., John Bugbee and Roger R. Bugbee

WESTERLY: by land of John Manwaring.

SECOND TRACT

A certain tract of land situated in the Black Hall in the Town of Old Lyme, County of New London and State of Connecticut, bounded and described as follows:

On the north by the highway; on the east by land now or formerly of William Avery; on the south 30 rods by said land now or formerly of William Avery and John Manwaring's heirs about 30 rods and about 18 rods on Black Hall River; thence running north about 60 rods more or less by the land now or formerly of the heirs of John Rogers; thence easterly by land now or formerly of Thomas Hill heirs to the highway to the first starting point or place of beginning.

Received for Record at Old Lyme, CT
On 08/30/2024 At 12:19:48 pm

Vicki M. Mearns

CONVEYANCE TAX RECEIVED
TOWN: \$2,187.50 STATE: \$6,937.50

Vicki Mearns

OLD LYME, CT TOWN CLERK

WARRANTY DEED

PECK & TUNESKI, P.C

10 PEARL STREET, NEW LONDON, CONNECTICUT 06320 | (860) 447-3370
118 NEW LONDON TURNPIKE, NORWICH, CONNECTICUT 06360 | (860) 886-9225

[illegible]

Vision ID: 1967

Account #00180500

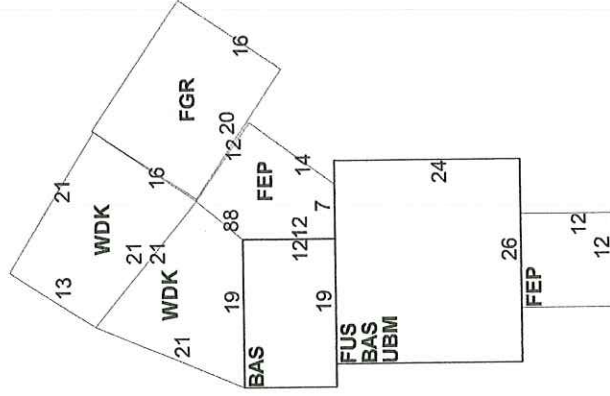
MAP ID: 43/4/1/1

ount #00180500

Bldg Name: Bldg #: 1 of 1 Sec #: 1

State Use: 1010
Print Date: 03/23/2005 09:52

CONSTRUCTION DETAIL				CONSTRUCTION DETAIL (CONTINUED)							
Element	Cd.	Ch. Description	Element	Cd.	Ch. Description						
Style	06	Conventional									
Model	01	Residential									
Grade	04	Average +10									
Stories	2	2 Stories									
Occupancy	1										
Exterior Wall 1	25	Vinyl Siding									
Exterior Wall 2											
Roof Structure	03	Gable/Hip									
Roof Cover	03	Asph/F Gls/Cmp									
Interior Wall 1	03	Plastered									
Interior Wall 2											
Interior Flr 1	12	Hardwood									
Interior Flr 2											
Heat Fuel	02	Oil									
Heat Type	05	Hot Water									
AC Type	01	None									
Total Bedrooms	03	3 Bedrooms									
Total Bthrms	2										
Total Half Baths	0										
Total Xtra Fixtrs											
Total Rooms	7	7 Rooms									
Bath Style	02	Average									
Kitchen Style	02	Average									
OB-OUTBUILDING & YARD ITEMS(L) / XF-BUILDING EXTRA FEATURES(B)											
Code	Description	Sub	Sub Description	L/B Units	Unit Price/Yr	Gde	Dp	Rt	Cnd	%Cnd	Apr Value
SHD1	SHED FRAME			L 64	10.00	2000	0	0	30	30	200
SHD2	W/LIGHTS E1			L 120	12.00	2003	0	0	100	100	1,400
GAZ	GAZEBO			L 192	25.00	2004	0	0	90	90	4,300
FPL3	2 STORY CHI			B 1	2,800.00	1968	1	1	100	100	1,800
BUILDING SUB-AREA SUMMARY SECTION											
Code	Description	Living Area	Gross Area	Eff. Area	Unit Cost	Undreprec. Value					
BAS	First Floor	852	852	852	94.05	80,131					
FEP	Porch, Enclosed, Finished	0	320	224	65.84	21,067					
FGR	Garage, Finished	0	320	112	32.92	10,534					
FUS	Upper Story, Finished	624	624	624	94.05	58,684					
UBM	Basement, Unfinished	0	624	125	18.84	11,750					
WDK	Deck, Wood	0	561	56	9.39	5,266					
Ttl. Gross Liv/Lease Area:											
				1,476	3,301	187,441					



Property Location
Vision ID 1967

125 SHORE RD

Map ID 43/14/1

Account # 00180500

Bldg Name
Sec # 1 of 1

Card # 1 of 1

State Use 1010
Print Date 12/5/2025 9:08:28 AM

CURRENT OWNER

THUNDER MOUNTAIN LLC

275 POST RD E STE 10 #5189

WESTPORT CT 06880-9992

Alt Prcl ID M59 L30

CENSUS 660101

Wrong lma

Owner Eim

Owner Pho

GIS ID

UTILITIES

5 Well

6 Septic

STRT / ROAD

1 Paved

2 Suburban

LOCATION

RES LAND

RES EXCES

DWELLING

RES OUTBL

APPRaised

274,000

900

286,800

7,300

Assessed

191,800

600

200,700

5,100

6105

OLD LYME, CT

VISION

RECORD OF OWNERSHIP

BK-VOL/PAGE

SALE DATE

Q/U

V/I

SALE PRICE

VC

THUNDER MOUNTAIN LLC

462 800

08-30-2024

U

I

875,000

M

50 HATCHETTS HILL RD LLC

443 506

05-21-2021

Q

I

470,000

00

MILLER JENNIFER L

0421 0858

04-27-2018

U

I

389,000

25

ANDERSON MARK & WENDY W/S

0276 1053

11-28-2001

Q

I

335,000

U

DYBEC MARJORIE A & ROBERT A

0267 1037

02-06-2001

Q

I

210,000

U

EXEMPTIONS

Year

Code

Description

Total

0.00

ASSESSING NEIGHBORHOOD

Nbhd

Nbhd Name

Tracing

Batch

0050

BLUE / 1A

421/858-INCLUDES 123 SHORE RD

OTHER ASSESSMENTS

Year

Code

Description

Number

Amount

Comm Int

Total

398,200

398,200

250,900

APPRaised

283,600

3,200

7,300

274,900

0

569,000

C

BUILDING PERMIT RECORD

Permit Id

Issue Date

Type

Description

Amount

Insp Date

% Comp

Date Comp

Comments

R-21086

06-04-2024

RS

Residential

11,411

07-30-2024

100

07-30-2024

4 REPLACEMENT WINDOWS

13968

05-19-2004

RS

Residential

4,802

09-29-2004

100

09-29-2003

GAZEBO

13517

05-16-2003

RS

Residential

3,400

09-29-2003

100

09-29-2003

SHED

LAND LINE VALUATION SECTION

B

Use Code

Description

Zone

Land Type

Land Units

Unit Price

Size Adj

Site Index

Cond.

Nbhd.

Nbhd. Adj

Notes

Location Adjustment

Adj Unit P

Land Value

1

1010

Single Fam MDL

RU4

40,000

4.37

1.00000

5

1.65

0050

0.950

IMP + 50 VIEW

1.0000

6.85

274,000

1

1010

Single Fam MDL

RU4

0.080

8,000.00

1.00000

5

1.50

0050

0.950

1.0000

11,400

900

Total Card

Land Units

0.9983

AC

Parcel Total Land Area

0.9983

Total Land Value

274,900

VISIT / CHANGE HISTORY

Date

Id

Type

Is

Cd

Purpose/Result

08-12-2024

MVS

MVS

01

Measur+1Visit

07-30-2024

MVS

MVS

26

Building Permit

09-05-2019

DM

DM

11

Field Review

09-04-2019

DEM

DEM

60

Data Mailer Change

05-28-2019

DEM

DEM

01

Measur+1Visit

09-22-2014

SB

SB

11

Field Review

05-06-2014

WG

WG

08

Measur/Int Refusal

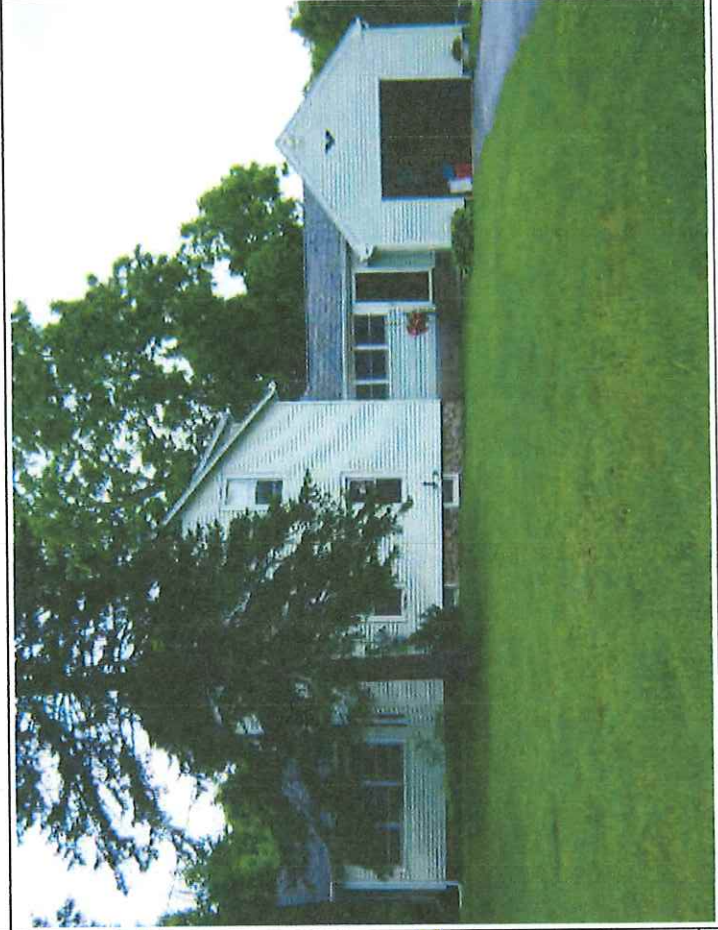
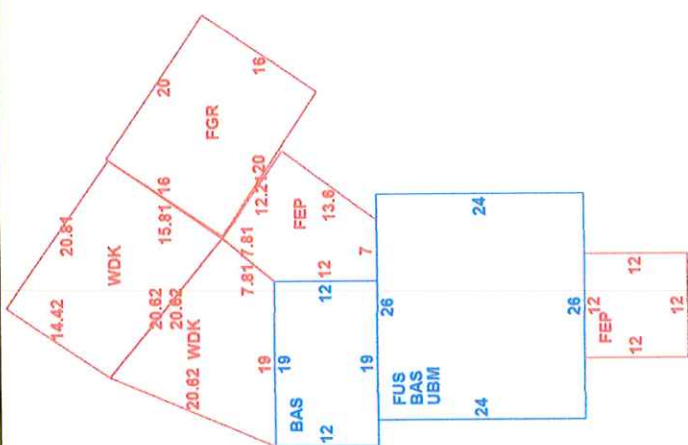
Total Appraised Parcel Value

569,000

This signature acknowledges a visit by a Data Collector or Assessor

CONSTRUCTION DETAIL										CONSTRUCTION DETAIL (CONTINUED)											
Element					Description					Element					Description						
Style: 06 Model 01 Grade: 04 Stories: 2 Occupancy 1 Exterior Wall 1 Exterior Wall 2 Roof Structure: Roof Cover 03 Interior Wall 1 Interior Wall 2 Interior Flr 1 Interior Flr 2 Heat Fuel 02 Heat Type: 05 AC Type: 01 Total Bedrooms 02 Total Bthrms: 1 Total Half Baths 1 Total Xtra Fixtrs 6 Total Rooms: 02 Bath Style: 02 Kitchen Style: 02					Conventional Residential Average +10 2 Stories																
					Vinyl Siding																
					Gable/Hip Asph/F Gls/Cmp Plastered																
					Hardwood																
					Oil																
Hot Water																					
None																					
2 Bedrooms																					
7 Rooms																					
Average																					
Average																					
OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)										OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)											
Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value	Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value
FPL3	2 STORY CHI	B	1	4250.00	1984		75		0.00	3,200	FPL3	2 STORY CHI	B	1	4250.00	1984		75		0.00	3,200
GAZ	GAZEBO	L	192	42.00	2004		90		0.00	7,300	GAZ	GAZEBO	L	192	42.00	2004		90		0.00	7,300
BUILDING SUB-AREA SUMMARY SECTION										BUILDING SUB-AREA SUMMARY SECTION											
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value	Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value								
BAS	First Floor	852	852	852	188.56	160,655	BAS	First Floor	852	852	852	188.56	160,655								
FEP	Porch, Enclosed, Finished	0	0	224	131.99	42,238	FEP	Porch, Enclosed, Finished	0	0	224	131.99	42,238								
FGR	Garage, Finished	0	0	320	66.00	21,119	FGR	Garage, Finished	0	0	320	66.00	21,119								
FUS	Upper Story, Finished	624	624	624	188.56	117,663	FUS	Upper Story, Finished	624	624	624	188.56	117,663								
UBM	Basement, Unfinished	0	0	624	37.77	23,570	UBM	Basement, Unfinished	0	0	624	37.77	23,570								
WDK	Deck, Wood	0	0	574	18.72	10,748	WDK	Deck, Wood	0	0	574	18.72	10,748								
Ttl Gross Liv / Lease Area						1,476	Ttl Gross Liv / Lease Area						1,476	Ttl Gross Liv / Lease Area							
						3,314							3,314								
						1,994							1,994								
						375,993							375,993								

14.42	20.81	20	16	FOR
20.82	15.81/16	20	20	
20.82	20.82	20	20	
20.62	7.81/7.81	12.2	20	
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1				



125 SHORE RD

Location 125 SHORE RD

Mblu 43/ / 4/ /

Acct# 00180500

Owner THUNDER MOUNTAIN LLC

Assessment \$398,200

Appraisal \$569,000

PID 1967

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2024	\$294,100	\$274,900	\$569,000
Assessment			
Valuation Year	Improvements	Land	Total
2024	\$205,800	\$192,400	\$398,200

Owner of Record

Owner THUNDER MOUNTAIN LLC
Co-Owner
Address 275 POST RD E STE 10 #5189
WESTPORT, CT 06880-9992

Sale Price \$875,000
Certificate
Book & Page 462/800
Sale Date 08/30/2024
Instrument MP

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
THUNDER MOUNTAIN LLC	\$875,000		462/800	MP	08/30/2024
50 HATCHETTS HILL RD LLC	\$470,000		443/506	00	05/21/2021
MILLER JENNIFER L	\$389,000		0421/0858	25	04/27/2018
ANDERSON MARK & WENDY W/S	\$335,000		0276/1053	UNKQ	11/28/2001
DYBEC MARJORIE A & ROBERT A	\$210,000		0267/1037	UNKQ	02/06/2001

Building Information

Building 1 : Section 1

Year Built: 1926

Living Area: 1,476
Replacement Cost: \$378,193
Building Percent Good: 75
Replacement Cost
Less Depreciation: \$283,600

Building Attributes

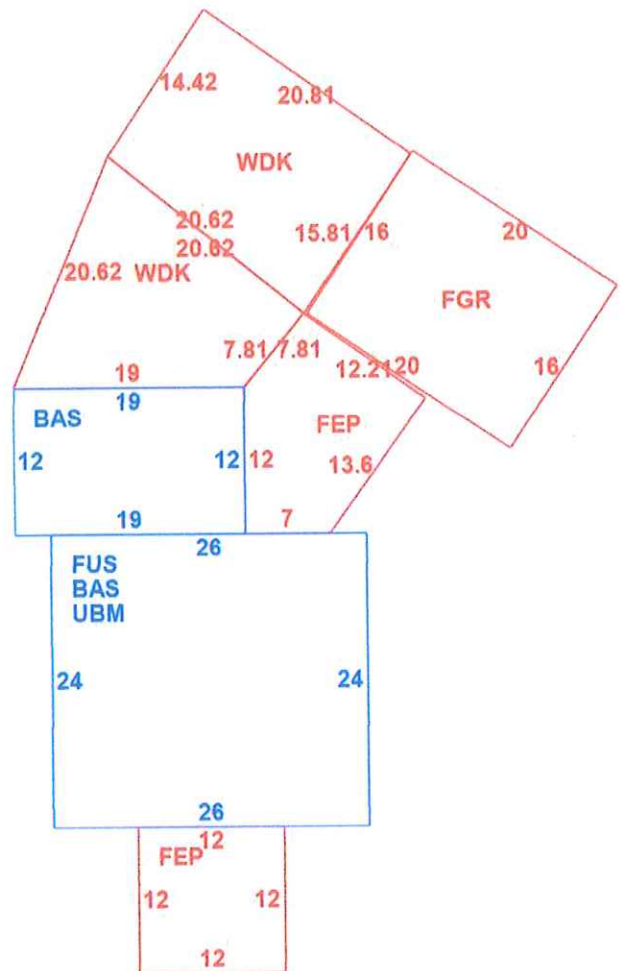
Field	Description
Style:	Conventional
Model	Residential
Grade:	Average +10
Stories:	2 Stories
Occupancy	1
Exterior Wall 1	Vinyl Siding
Exterior Wall 2	
Roof Structure:	Gable/Hip
Roof Cover	Asph/F Gls/Cmp
Interior Wall 1	Plastered
Interior Wall 2	
Interior Flr 1	Hardwood
Interior Flr 2	
Heat Fuel	Oil
Heat Type:	Hot Water
AC Type:	None
Total Bedrooms:	2 Bedrooms
Total Bthrms:	1
Total Half Baths:	1
Total Xtra Fixtrs:	
Total Rooms:	7 Rooms
Bath Style:	Average
Kitchen Style:	Average
Num Kitchens	01
Cndtn	
Num Park	
Fireplaces	
Fndtn Cndtn	
Basement	
Usrflid 706	

Building Photo



(<https://images.vgsi.com/photos/OldLymeCTPhotos/\00\00\58\78.jpg>)

Building Layout



(ParcelSketch.ashx?pid=1967&bid=1967)

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	852	852
FUS	Upper Story, Finished	624	624
FEP	Porch, Enclosed, Finished	320	0
FGR	Garage, Finished	320	0

UBM	Basement, Unfinished	624	0
WDK	Deck, Wood	574	0
		3,314	1,476

Extra Features

Extra Features				Legend
Code	Description	Size	Value	Bldg #
FPL3	2 STORY CHIM	1.00 UNITS	\$3,200	1

Land

Land Use

Use Code	1010
Description	Single Fam MDL-01
Zone	RU40
Neighborhood	0050
Air Land Appr	No
Category	

Land Line Valuation

Size (Acres)	1.00
Frontage	0
Depth	0
Assessed Value	\$192,400
Appraised Value	\$274,900

Outbuildings

Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
GAZ	GAZEBO			192.00 S.F.	\$7,300	1

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2024	\$294,100	\$274,900	\$569,000
2023	\$169,400	\$189,000	\$358,400
2022	\$169,400	\$189,000	\$358,400

Assessment			
Valuation Year	Improvements	Land	Total
2024	\$205,800	\$192,400	\$398,200
2023	\$118,600	\$132,300	\$250,900
2022	\$118,600	\$132,300	\$250,900

- ☒ \$100.00 fee submitted with Special Permit, Site Development, Subdivision and ZBA application
☐ \$410.00 fee submitted alone

Town of Old Lyme

Application Form

Municipal Coastal Site Plan Review

For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions (CSPR-INST-11/99) and submit it with the appropriate plans to the appropriate Town of Old Lyme agency.

Section I: Applicant Identification

Applicant: Tracy Maeter Date: 12-4-25
Address: 426 20th Ave NE St. Petersburg FL 33704 Phone: 267-367-9641
Project Address or Location: 125 Shore Road

Interest in Property: ☐ fee simple ☐ option ☐ lessee ☐ easement
☒ other (specify) contract purchaser

List primary contact for correspondence if other than applicant:
Name: Joe Wren, PE (Indigo) (Agent)
Address: 40 Elm Street, 2nd Floor
City/Town: Old Saybrook State: CT Zip Code: 06475
Business Phone: 860-388-9343
e-mail: jwren@indigo-land.com

Section II: Project Site Plans

Please provide project site plans that clearly and accurately depict the following information, and *check the appropriate boxes* to indicate that the plans are included in this application:

- ☒ Project location
- ☒ Existing and proposed conditions, including buildings and grading
- ☒ Coastal resources on and contiguous to the site
- ☒ High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)
- ☒ Soil erosion and sediment controls
- ☒ Stormwater treatment practices
- ☒ Ownership and type of use on adjacent properties
- ☒ Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.) NAVD-88

Section III: Written Project Information

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site

Plan Review:

- ☐ Site Plan for Zoning Compliance
- ☐ Subdivision or Resubdivision
- ☐ Special Exception
- ☒ Variance
- ☐ Municipal Project (CGS Section 8-24)

Part I: Site Information

1. Street Address or Geographical Description: 125 Shore Road

City or Town: Old Lyme
2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)? ☐ YES ☐ NO
3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:
Black Hall River and Tidal Marsh
4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:

The subject property and adjacent properties are located within the single family residential RU-40 zoning district. The lot area is 1.05 acres and includes tidal wetlands and marsh frontage along the Black Hall River and lies within FEMA AE 11 flood zone and FEMA VE 14 flood zone. Presently there is a 2-bedroom dwelling and paved driveway on the property. A shed and gazebo were recently removed from the property.
5. Indicate the area of the project site: 45,700 acres or square feet (circle one)
6. Check the appropriate box below to indicate whether the project or activity will disturb 5 acres or more total acres of land area (please also see Part II.B. regarding proposed stormwater best management practices):
 - ☐ Project or activity will disturb 5 or more total acres of land area on the site and may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities
 - ☒ Project or activity will not disturb 5 or more total acres of land area

Part II.A.: Description of Proposed Project or Activity

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

The proposed work includes the demolition of the existing house and removal of the existing paved drive, well, and septic system. A 4-bedroom house, detached garage, in-ground pool, patio, and terrace are proposed to be constructed on-site with the installation of a new drilled well and a CT Public Health code compliant septic system, and other associated improvements. All work is proposed to be constructed entirely outside the FEMA flood zone VE and the 50' Coastal Resource setback. The existing paved driveway (>2,100 s.f.) will be removed from the 100' CT River setback. The proposed driveway will be pervious (crushed stone). The impervious coverage will be increased by 1,022 +/- s.f. Drywells are proposed to retain more than 1.3" of runoff from the excess impervious area. Construction to commence in Spring 2026.

Part II.B.: Description of Proposed Stormwater Best Management Practices

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):

As mentioned above, two drywells are proposed to retain more than 1.3" of runoff from excess impervious coverage. Additionally, a pervious crushed stone driveway and substantial landscaping will be installed to promote infiltration and enhance stormwater quality.

Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)	X	X	X	
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)				X
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)				X
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)	X	X		
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)		X	X	
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)				X
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				X
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)			X	
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)				X
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)				X
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)				X
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)				X
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)	X	X		

* General Coastal Resource policy is applicable to all proposed activities

Part IV: Consistency with Applicable Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):

—
The proposed work will be landward of the 50' Coastal Resource setback and will include vegetative buffer enhancements along the tidal marsh. E&S controls will be installed prior to construction and maintained throughout the duration of construction. All construction will be flagged by a licensed land surveyor prior to any tree removal or grading.
—

Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

- ☒ General Development* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- ☒ Water-Dependent Uses** - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A);
Definition CGS Section 22a-93(16)
- ☐ Ports and Harbors - CGS Section 22a-92(b)(1)(C)
- ☐ Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)
- ☐ Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- ☐ Boating - CGS Section 22a-92(b)(1)(G)
- ☐ Fisheries - CGS Section 22a-92(c)(1)(I)
- ☐ Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(c)(1)(j) and 22a-92(c)(1)(K)
- ☐ Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)
- ☐ Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
- ☐ Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- ☐ Solid Waste - CGS Section 22a-92(a)(2)
- ☐ Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)
- ☐ Cultural Resources - CGS Section 22a-92(b)(1)(J)
- ☐ Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

* General Development policies are applicable to all proposed activities

** Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

Part VI: Consistency With Applicable Coastal Use Policies And Standards

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

The proposed activity is consistent with coastal resource policies due to items mentioned above. Since the long-standing use of the subject property and adjacent properties is single-family residential and there is no direct water access, the subject site is not suitable for any water-dependent use.

Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources

Please complete this section for all projects. Identify the adverse impact categories below that apply to the proposed project or activity. The "applicable" column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)		×
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)		×
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)		×
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)		×
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)		×
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)		×
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)		×
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)		×

Part VII.B.: Identification of Potential Adverse Impacts on Water-dependent Uses

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

1. Identify the adverse impact categories below that apply to the proposed project or activity. The applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)		X
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)		X
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)		X

2. Identification of existing and/or proposed Water-dependent Uses.

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.):

As mentioned above, the site is not suitable for a water-dependent use. The property use is private single-family residential and no public access is proposed.

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*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.

Part VIII: Mitigation of Potential Adverse Impacts

Explain how all potential adverse impacts on coastal resources and/or future water-dependent development opportunities and activities identified in Part VII have been avoided, eliminated, or minimized (attach additional pages if necessary):

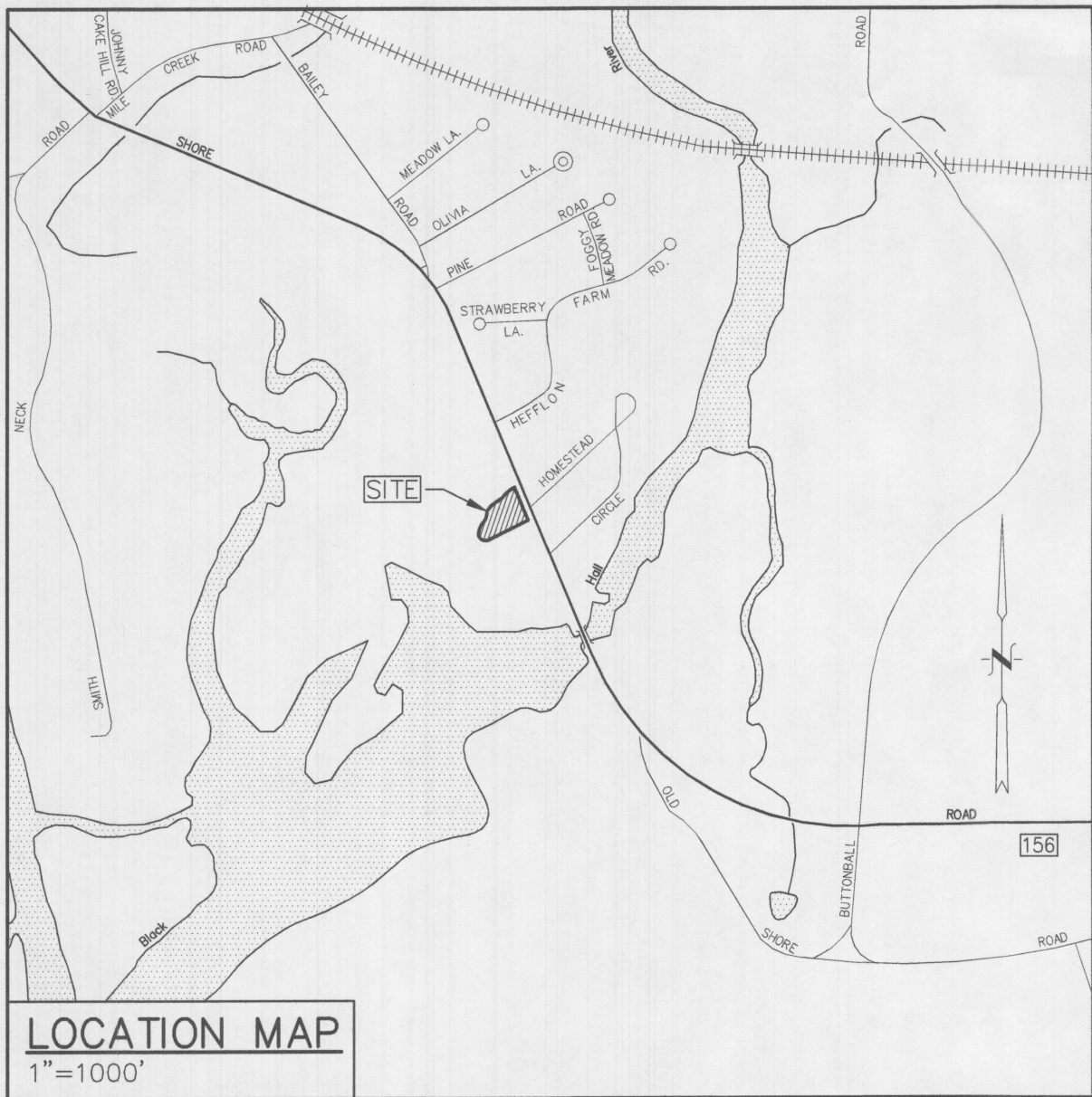
As mentioned above, below is a summary list of proposed features that will be implemented to avoid, eliminate, or minimize any potential impacts on coastal resources.

1. The proposed structure will be FEMA compliant. The existing house is not FEMA compliant.
2. The existing antiquated septic system will be replaced with a 100% health code compliant system.
3. Pervious driveway will replace the existing paved driveway. More than 2,100 s.f. of existing paved driveway will be removed out of the 100' CT River setback.
4. A drywell will be added to retain more than 1.3" of runoff from the excess impervious area.
5. E&S controls will be installed and maintained throughout construction.
6. Substantial landscaping and tidal wetland buffers will be added to promote infiltration and enhance stormwater quality and provide more habitat diversity.

Part IX: Remaining Adverse Impacts

Explain why any remaining adverse impacts resulting from the proposed activity or use have not been mitigated and why the project as proposed is consistent with the Connecticut Coastal Management Act (attach additional pages if necessary):

No known remaining adverse impacts.



GENERAL NOTES:

- THIS PLAN WAS COMPILED USING THE FOLLOWING REFERENCE INFORMATION:
 - A CLASS A-2 SURVEY MAP ENTITLED "EXISTING BUILDING LOCATION SURVEY, LAND OF 50 HATCHETTS HILL ROAD, LLC, TAX MAP 43 LOT 4, 125 SHORE ROAD (CT. RT. 156), OLD LYME, CONNECTICUT", SCALE: 1"=20", DATED: AUGUST 11, 2023 WITH REVISIONS THROUGH JANUARY 23, 2024, PREPARED BY: ANNINO SURVEY, LLC.
 - CAD FILE CONTAINING EXISTING SPOT ELEVATIONS AT 125 SHORE ROAD, OLD LYME, CONNECTICUT, RECEIVED: JANUARY 2024, PREPARED BY: ANNINO SURVEY, LLC.
 - AN ARCHITECTURAL BUILDING PLAN SET ENTITLED "OSTER", SCALE: VARIES, DATED: DECEMBER 4, 2025, PREPARED BY: NAUTILUS ARCHITECTS.
 - A SITE PLAN OF 125 SHORE ROAD, OLD LYME, CONNECTICUT, PREPARED FOR: THUNDER MOUNTAIN, LLC, JANUARY 28, 2025, SCALE: 1"=20", REVISED THROUGH: MARCH 7, 2025, PREPARED BY: FEDUS ENGINEERING, LLC.
 - A PRELIMINARY LANDSCAPE PLAN ENTITLED "MAETER-OSTER RESIDENCE, OLD LYME, CONNECTICUT", SCALE: 1"=20", DATED: NOVEMBER 5, 2025 AND REVISED THROUGH NOVEMBER 11, 2025, PREPARED BY: JOGN W. CUNNINGHAM.
- THE PROPERTY OWNER IS THUNDER MOUNTAIN, LLC THE APPLICANT IS TRACY L. MAETER OF 426 20TH AVENUE NE ST. PETERSBURG, FL 33704.
- THE SUBJECT PARCEL IS IDENTIFIED AS LOT 4 ON TAX ASSESSOR'S MAP 43. THE DEED REFERENCE OF THE PROPERTY IS VOLUME 443 PAGE 506. THE AREA OF THE PARCEL IS 45,700± S.F. OR 1.05± ACRES.
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE 'RESIDENCE RU-40' ZONING DISTRICT. THE PARCEL LIES WITHIN THE COASTAL AREA MANAGEMENT ZONE AND THE CONNECTICUT RIVER GATEWAY CONSERVATION ZONE. THE PARCEL LIES WITHIN FEMA FLOOD HAZARD ZONE VE (EL. 14) AND FLOOD HAZARD ZONE AE (EL. 11) AND THE OLD LYME FLOOD ORDINANCE ADDS ONE FOOT TO THE FEMA FLOOD ELEVATION TO 15 AND 12 (NAVD-88), RESPECTIVELY.
- THE APPLICANT IS PROPOSING TO DEMOLISH THE EXISTING NON-CONFORMING 2-STORY 2-BEDROOM YEAR-ROUND DWELLING AND CONSTRUCT A NEW 2-STORY, 4-BEDROOM, YEAR-ROUND DWELLING ON THE LOT WITH A DETACHED 2-CAR GARAGE, A CRUSHED STONE DRIVEWAY, AN IN-GROUND POOL, A NEW 100% CONNECTICUT PUBLIC HEALTH CODE-COMPLIANT SEPTIC SYSTEM, A NEW WELL AND ASSOCIATED IMPROVEMENTS. THE STRUCTURE IS PROPOSED TO BE IN COMPLIANCE WITH CURRENT FEMA REGULATIONS AND LOCAL FLOOD ORDINANCES.
- THE PURPOSE OF THIS PLAN IS FOR REVIEW BY THE OLD LYME ZONING BOARD OF APPEALS TO SEEK NECESSARY VARIANCES AND THE LEDGE LIGHT HEALTH DISTRICT (LLHD) FOR COMPLIANCE WITH THE CONNECTICUT PUBLIC HEALTH CODE.
- THIS PROPERTY IS SERVED BY PRIVATE WELL AND A SUBSURFACE SEWAGE DISPOSAL SYSTEM. THERE ARE NO KNOWN WELLS OR ANY OTHER KNOWN DESIGN CONFLICTS WITHIN 75 FEET OF THE PROPOSED SEPTIC SYSTEM.
- REFER TO ARCHITECTURAL DRAWINGS (REF. 1.C) FOR ADDITIONAL PROPOSED BUILDING INFORMATION.
- THE TIDAL WETLAND LIMIT DEPICTED HEREON WAS DELINEATED BY RICHARD SMARSKI, C.P.S.S. ON JULY 31, 2023 AND LOCATED IN THE FIELD BY ANNINO SURVEY, LLC ON AUGUST 9, 2023.
- ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD-88 DATUM PER REF. MAP 1.A.

CONSTRUCTION NOTES:

- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD LOCATIONS AND INFORMATION PROVIDED BY OTHERS. THEIR ACTUAL LOCATION MAY VARY FROM THOSE INDICATED AND ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN. THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 800-922-4455 TO MARK OUT ALL UNDERGROUND UTILITIES A MINIMUM OF 3 BUSINESS DAYS PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL VERIFY ALL LOCATIONS, DIMENSIONS AND ELEVATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL ADHERE TO ALL APPLICABLE TOWN OF OLD LYME STANDARDS AND REGULATIONS.
- ALL UTILITIES SHALL BE INSTALLED IN CONFORMANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF CLINTON AND THE CUSTODIAL UTILITY COMPANIES. ALL UTILITY TRENCHES SHALL BE NO LESS THAN 5 FEET FROM THE EXISTING SEPTIC SYSTEM AND NOT BACKFILLED WITH FREE DRAINING MATERIAL. ALL WATER LINES SHALL BE A MINIMUM OF 10 FEET FROM ANY PART OF THE PROPOSED SEPTIC SYSTEM.
- ALL PROPERTY LINES SHALL BE VERIFIED IN THE FIELD. NO PRIVATE PROPERTY SHALL BE DISTURBED UNLESS PROPER RIGHTS ARE OBTAINED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION INCLUDING A CONNODT ENCROACHMENT PERMIT FOR ALL WORK WITHIN THE ROUTE 156 RIGHT-OF-WAY. THE CONTRACTOR SHALL CONFIRM AND ABIDE BY ANY APPLICABLE "NO HAMMER" TIME PERIODS OF THE COMMUNITY.
- THE CONTRACTOR SHALL OBTAIN, REVIEW AND ADHERE TO ALL REQUIREMENTS AND ANY CONDITIONS OF APPROVAL OF THE TOWN OF OLD LYME AND/OR THE LEDGE LIGHT HEALTH DISTRICT (LLHD).
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ADJACENT PROPERTIES AND WETLANDS FROM ANY EROSION AND/OR SEDIMENTATION. SILT FENCE SHALL BE INSTALLED AS SHOWN AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- THE PROPOSED DWELLING WILL NOT HAVE A FULL BASEMENT AND WILL NOT HAVE FOOTING DRAINS. THERE ARE NO KNOWN DOWNGRADIANT SEPTIC SYSTEM COMPONENTS WITHIN 25 FEET OF ANY UPGRADIANT GROUNDWATER DRAINS OR ANY UPGRADIANT SEPTIC SYSTEM COMPONENTS WITHIN 50 FEET OF ANY DOWNGRADIANT GROUNDWATER DRAINS.
- ALL EXISTING DRAINAGE PATTERNS SHALL BE MAINTAINED. THE CONTRACTOR SHALL GRADE THE PROPERTY IN SUCH A MANNER TO MAINTAIN EXISTING LOCAL DRAINAGE PATTERNS AND TO PREVENT EXCESS RUNOFF AND/OR PONDING ON ADJACENT PROPERTIES BOTH DURING AND AFTER CONSTRUCTION.
- THE APPROXIMATE LOCATION OF THE EXISTING SEPTIC TANK IS SHOWN HEREON. ALL EXISTING SEPTIC SYSTEM COMPONENTS SHALL BE LOCATED IN THE FIELD AND SHALL BE PUMPED DRY AS NECESSARY AND REMOVED AND/OR ABANDONED IN ACCORDANCE WITH THE CONNECTICUT PUBLIC HEALTH CODE AND ALL APPLICABLE LOCAL REGULATIONS.
- ALL MECHANICALS (I.E., ELECTRIC METER, A/C CONDENSER UNITS, ETC.) SHALL BE INSTALLED AT OR ABOVE ELEVATION 12.0 (NAVD-88) IN ACCORDANCE WITH FEMA FLOOD REGULATIONS AND LOCAL FLOOD ORDINANCES. THE PROPOSED ELECTRIC METER SHALL BE INSTALLED 5 FEET ABOVE GRADE (APPROX. ELEV. 15.5'). ANY BUILDING MATERIALS INSTALLED BELOW ELEVATION 12.0 (NAVD-88) SHALL BE FLOOD RESISTANT. THE PROPOSED UNDERGROUND 500-GALLON PROPANE TANK SHALL HAVE A RELIEF PORT EXTENDED TO OR ABOVE ELEVATION 12.0 (NAVD-88). SHALL HAVE NECESSARY ANTI-FLOTATION PROVISIONS INSTALLED AND SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE CODE REQUIREMENTS AND ALL MANUFACTURER SPECIFICATIONS.
- ALL PROPOSED UTILITIES AND THE UNDERGROUND 500-GALLON PROPANE TANK SHALL BE INSTALLED IN STRICT CONFORMANCE WITH ALL APPLICABLE CODES AND SPECIFICATIONS AND REQUIRED SEPARATION DISTANCES.
- PROJECT ARCHITECT OR STRUCTURAL ENGINEER SHALL DETERMINE ALL STRUCTURAL AND FEMA FLOOD REQUIREMENTS, INCLUDING FLOOD VENTS, IF APPLICABLE.
- GENERAL LOT GRADING AND THE FINISHED FLOOR ELEVATION AND SLAB ELEVATION OF THE PROPOSED DWELLING ARE BASED ON AVAILABLE INFORMATION. THESE ELEVATIONS SHALL NOT BE ADJUSTED BY THE CONTRACTOR WITHOUT PRIOR REVIEW AND APPROVAL OF THE DESIGN ENGINEER. NO FLOOR LEVEL OF ANY PORTION OF ANY BUILDING SHALL BE LESS THAN ELEVATION 12.0.
- THE PROPOSED BUILDING AND IMPROVEMENTS SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE BUILDING AND IMPROVEMENTS IN THE EXACT LOCATION SHOWN AND SHALL BE CONSTRUCTED TO THE EXACT DIMENSIONS SHOWN ON THE LATEST SITE AND ARCHITECTURAL PLANS IN ACCORDANCE WITH THE APPROVED PLANS. ALL DIMENSIONS SHALL ACCOUNT FOR ANY SIDING OR CLADDING.
- CONTRACTOR SHALL ENSURE THAT THE RIDGE OF THE GABLE ROOF DOES NOT EXCEED ELEVATION 42.0 OR 44.5 (35 FEET) FOR THE PROPOSED HOUSE AND GARAGE, RESPECTIVELY.
- ALL STRIPPED TOPSOIL AND EXCAVATED SOIL SHALL BE STOCKPILED IN THE AREA SHOWN AND NOT LOCATED WITHIN THE 100' CT RIVER SETBACK.

ZONING DATA TABLE ~ OLD LYME 'RESIDENCE RU-40' DISTRICT			
ITEM	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	40,000 S.F.	45,700± S.F. (GROSS) (1) 41,654± (NET) (1)	45,700± S.F. (NO CHANGE) (GROSS) (1) 41,654± (NO CHANGE) (NET) (1)
STREET LINE SETBACK (SHORE ROAD)	50 FT.	25.1± FT. (EX. STAIRS) (2) 28.8± FT. (EX. HOUSE) (2)	50.0 FT. (PR. GARAGE) 55.6 FT. (PR. POOL COPING) 88.9 FT. (+60.1 FT.) (PR. HOUSE)
OTHER YARD SETBACK (SOUTHERN BOUNDARY)	35 FT.	18.7± FT. (EX. DECK) (2) 24.2± FT. (EX. HOUSE) (2)	35.0 FT. (PR. GARAGE) 35.0 FT. (+10.8 FT.) (PR. HOUSE)
REAR YARD SETBACK (TIDAL MARSH)	35 FT.	28.7± FT. (EX. SHED) (2)(8) 87.3± FT. (EX. GAZEBO) (8) 130.0± FT. (EX. HOUSE) 134.0± FT. (EX. DECK)	61.4 FT. (PR. RAISED PATIO) 62.3 FT. (PR. POOL COPING) 69.0 FT. (PR. HOUSE) 69.1 FT. (PR. AC PAD)
50' COASTAL RESOURCE (TIDAL WETLAND) SETBACK (SECTION 4.2.12)	50 FT. (FROM TIDAL WETLANDS)	24.0± FT. (EX. SHED) (2)(8) 34.2± FT. (EX. PAVED DRIVE)	55.9 FT. (PR. PATIO) 57.8 FT. (PR. HOUSE) 58.6 FT. (PR. POOL COPING) 62.5 FT. (PR. AC PAD) 62.6 FT. (PR. DRILLED WELL)
100' CONNECTICUT RIVER (GATEWAY) SETBACK (SECTION 4.10.3) & 100' TIDAL WATERS PROTECTION AREA (SECTION 4.3.1)	100 FT. (FROM C.J.)	27.3± FT. (EX. SHED) (2)(8) 82.0± FT. (EX. GAZEBO) (2)(8) 90.6± FT. (EX. SEPTIC TANK) (2)	60.1 FT. (PR. RAISED PATIO) (3) 62.1 FT. (PR. POOL COPING) (3) 66.2 FT. (PR. AC PAD) (3) 66.4 FT. (PR. HOUSE) (3) 72.2 FT. (PR. DRILLED WELL) (3)
MAX. # OF STORIES	2 1/2 STORIES	2 STORIES (EX. HOUSE) (4)	1 STORY (PR. GARAGE) (4) 2 STORIES (NO CHANGE) (PR. HOUSE) (4)
MAX. BUILDING HEIGHT	35 FT.	UNKNOWN (EX. SHED) UNKNOWN (EX. GAZEBO) UNKNOWN (EX. HOUSE)	31.3 FT. (PR. GARAGE) (5) 33.3 (PR. HOUSE) (5)
MAX. GROSS FLOOR AREA	15% (6,248 S.F.)	5.4% (2,242± S.F.) (6)	9.6% (3,992 S.F.) (+4.2% (+1,750 S.F.)) (6)
MAX. LOT COVERAGE	10% (4,165 S.F.)	7.0% (2,900± S.F.) (7)	9.4% (3,889 S.F.) (+2.4% (+989 S.F.)) (7)
MAX. GROUND COVERAGE	30% (12,496 S.F.)	4.8% (1,982± S.F.) (7)	12.4% (5,135 S.F.) (+7.6% (+3,153 S.F.)) (7)

- THE PROPERTY CONSIST OF WETLANDS/WATERCOURSES. PER SECTION 8.1.4, AREAS CONSISTING OF WETLANDS/WATERCOURSES SHALL BE EXCLUDED FROM THE LOT AREA WHEN COMPUTING MAX. GROSS FLOOR AREA AND MAX. COVERAGES.
NET LOT AREA = 45,700± S.F. (GROSS LOT AREA) - 4,046± S.F. (WETLANDS) = 41,654± S.F.
- EXISTING NON-CONFORMITY.
- VARIANCE REQUESTED ~ SHOWN IN BOLD FOR CLARITY.
- EXISTING NUMBER OF STORIES ESTIMATED BASED ON ASSESSOR'S INFORMATION. PROPOSED NUMBER OF STORIES BASED ON ARCHITECTURAL DRAWINGS.
- PROPERTY IS LOCATED WITHIN THE GATEWAY CONSERVATION ZONE. THE PROPOSED BUILDING HEIGHT WAS PROVIDED PER ARCHITECTURAL DRAWINGS AND WAS MEASURED FROM THE LOWEST POINT OF THE BUILDING THAT IS VISIBLE ABOVE EXISTING NATURAL GRADE (PRIOR TO SITE GRADING) UP TO THE HIGHEST ROOF ELEVATION.
MAX. BUILDING HEIGHT (PR. HOUSE) = 40.3' - 7.0' (LOWEST EXIST. GRADE ELEV. AROUND PR. HOUSE) = 33.3'
MAX. BUILDING HEIGHT (PR. GARAGE) = 40.8' - 9.5' (LOWEST EXIST. GRADE ELEV. AROUND PR. GARAGE) = 31.3'
- SEE BUILDING GROSS FLOOR AREA TABLE FOR MORE INFORMATION.
- SEE COVERAGE TABLES FOR MORE DETAILED INFORMATION.
- THE SHED AND GAZEBO WERE RECENTLY REMOVED FROM THE SITE.

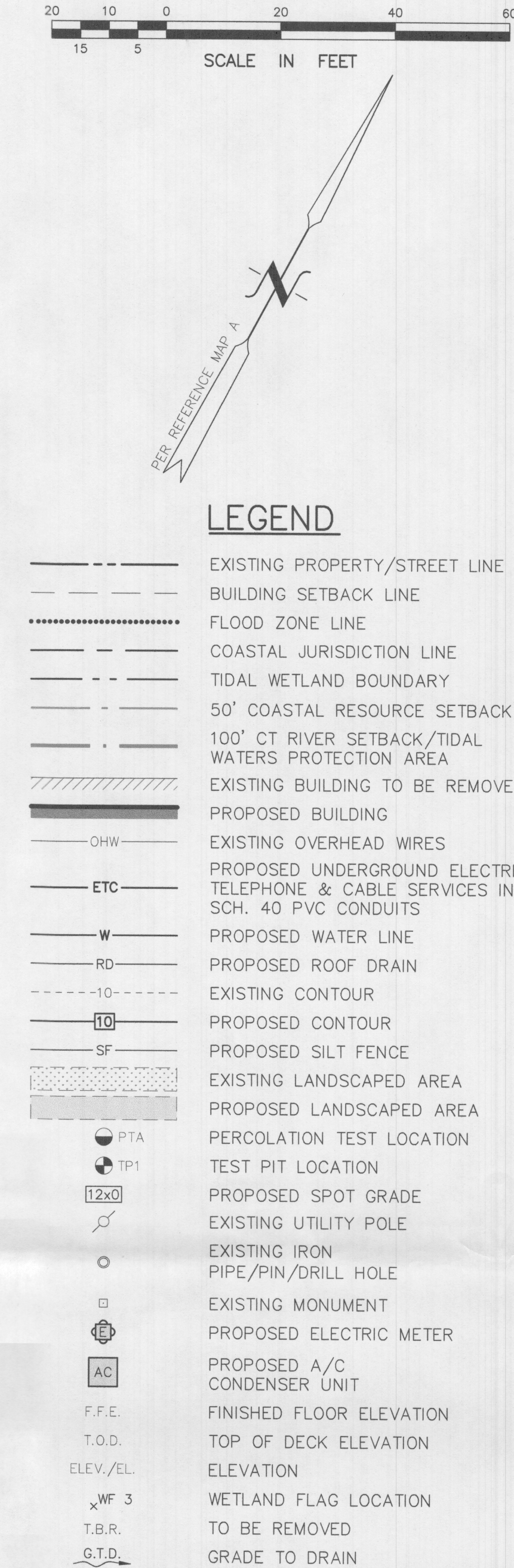
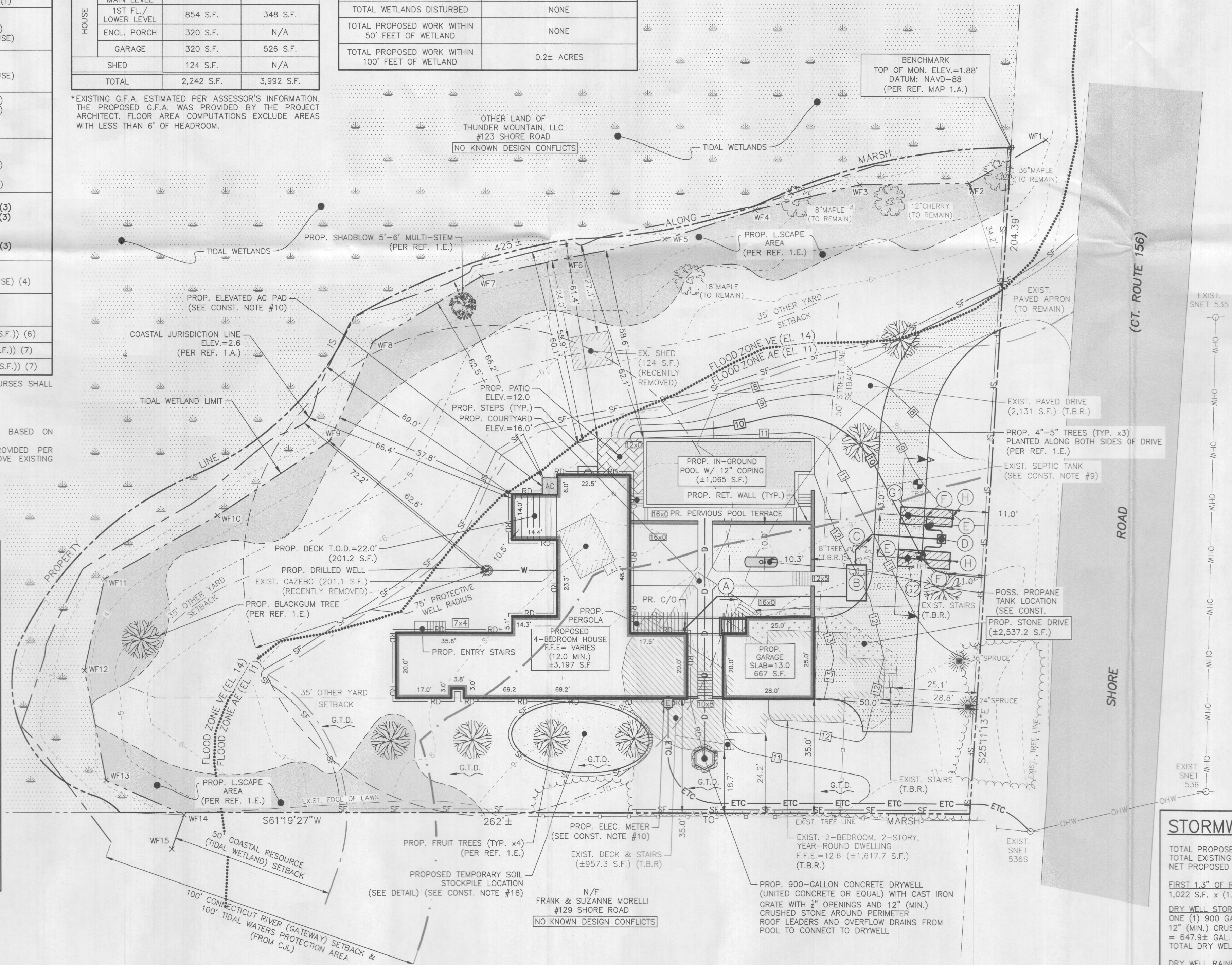
EXISTING COVERAGES SCALE: 1"=80'			PROPOSED COVERAGES SCALE: 1"=80'		
ITEM	DESCRIPTION	LOT COVERAGE	ITEM	DESCRIPTION	LOT COVERAGE
1	EX. HOUSE & HOUSE STEPS	1,618 S.F.	1	PR. HOUSE, DECK, STEPS	3,197 S.F.
2	EX. DECK & DECK STAIRS	957 S.F.	2	PR. DETACHED GARAGE	667 S.F.
3	*EX. GAZEBO & GAZEBO STEP	201 S.F.	3	PR. POOL	1065 S.F.
4	*EX. SHED	124 S.F.	4	PR. UTILITIES	25 S.F.
5	EX. PAVED DRIVE	2,131 S.F.	5	PR. IMPERV. STAIRS/WALKS	124 S.F.
			6	PR. WALLS	90 S.F.
TOTAL		2,900 S.F.	TOTAL		3,889 S.F.
PERCENT EXISTING LOT COVERAGE: 2,900 S.F. = 7.0%			PERCENT PROPOSED LOT COVERAGE: 3,889 S.F. = 9.4%		
PERCENT EXISTING 1,982 S.F. GROUND COVERAGE: 41,654 S.F. = 4.8%			PERCENT PROPOSED 5,135 S.F. GROUND COVERAGE: 41,472 S.F. = 12.4%		

*EXISTING SHED AND GAZEBO RECENTLY REMOVED.

BUILDING GROSS FLOOR AREA		
ITEM	EXSITING	PROPOSED
2ND FL./MAIN LEVEL	624 S.F.	3,118 S.F.
1ST FL./LOWER LEVEL	854 S.F.	348 S.F.
ENCL. PORCH	320 S.F.	N/A
GARAGE	320 S.F.	528 S.F.
SHED	124 S.F.	N/A
TOTAL	2,242 S.F.	3,992 S.F.

*EXISTING G.F.A. ESTIMATED PER ASSESSOR'S INFORMATION. THE PROPOSED G.F.A. WAS PROVIDED BY THE PROJECT ARCHITECT. FLOOR AREA COMPUTATIONS EXCLUDE AREAS WITH LESS THAN 6' OF HEADROOM.

TIDAL WETLAND DATA TABLE	
NOTES	QUANTITY
TOTAL WETLANDS ON PROPERTY	4,046± S.F. (0.093± ACRES)
TOTAL WETLANDS DISTURBED	NONE
TOTAL PROPOSED WORK WITHIN 50' FEET OF WETLAND	NONE
TOTAL PROPOSED WORK WITHIN 100' FEET OF WETLAND	0.2± ACRES



SEPTIC SYSTEM KEY	
(A)	55.3± L.F. 4" SCH. 40 ASTM D1785 SOLID PVC BUILDING SEWER PIPE @ 1/4" PER FT. MIN. SLOPE WITH 15" MIN. COVER. BUILDING SEWER PIPE SHALL HAVE 45° BENDS AS REQUIRED WITH A TEE WYE CLEAN-OUT TO GRADE AS SHOWN.*
(B)	1,500-GALLON H-20 RATED CONCRETE SEPTIC TANK (JOLLEY PRECAST OR EQUIVALENT) (SEE DETAIL).*
(C)	4" SCH. 40 ASTM D1785 SOLID PIPE TO CONNECT TO DISTRIBUTION BOX.
(D)	H-20 RATED 10-HOLE DB9 DISTRIBUTION BOX.*
(E)	4" SCH. 40 ASTM D1785 SOLID PVC PIPE TO CONNECT TO LEACHING SYSTEM PER MANUFACTURER'S SPECIFICATIONS.
(F)	4" SCH. 40 ASTM D1785 SOLID PVC DISTRIBUTION TEE.
(G)	16.0 L.F. OF GEOMATRIX GST6224 LEACHING SYSTEM WITH H-20 PROVISIONS (SEE DETAIL).
(H)	16.0 L.F. OF GEOMATRIX GST6224 LEACHING SYSTEM WITH H-20 PROVISIONS (SEE DETAIL).
(I)	4" SDR 35 ASTM 3034 INSPECTION PORT - GEOMATRIX PART NO.: IPGST15 (SEE DETAIL).*

*SEPTIC TANK AND DISTRIBUTION BOX SHALL HAVE H-20 RISERS TO WITHIN 12" OF FINISHED GRADE. INSPECTION PORTS SHALL HAVE GEOMATRIX RISERS AND THREADED CAPS TO WITHIN 12" OF FINISHED GRADE. CONTRACTOR SHALL VERIFY SEPTIC TANK IS WATERTIGHT PRIOR TO INSTALLATION.

REFER TO SEPTIC SYSTEM INVERT TABLE ON SHEET ST-1 (2 OF 3) FOR PROPOSED INVERT ELEVATIONS.

STORMWATER CALCULATIONS:

TOTAL PROPOSED IMPERVIOUS COVERAGE = 5,135 S.F.
TOTAL EXISTING IMPERVIOUS COVERAGE = 4,113± S.F.
NET PROPOSED GROUND COVERAGE = 1,022 S.F.

FIRST 1.3" OF RAINFALL FROM PROPOSED ROOFED AREA:
1,022 S.F. x (1.3"/12") x (7.48 GAL./C.F.) = 828± GAL.

DRY WELL STORAGE CAPACITY:
ONE (1) 900 GALLON DRY WELL (UNITED CONCRETE) = 900 GAL.
12" (MIN.) CRUSHED STONE AROUND PERIMETER OF DRY WELL (ASSUME 40% Voids)
= 647.9± GAL. x 40% = 259± GAL.
TOTAL DRY WELL STORAGE CAPACITY = 1,159± GAL.

DRY WELL RAINFALL CAPACITY:
1,159 GAL. / 828 GAL. = 1.8±" OF RAINFALL (FROM IMPERVIOUS AREA)

PLAN PREPARED BY:
INDIGO LAND DESIGN, LLC
JOSEPH WREN P.E.
CT REG. NO. 21090
40 ELM STREET, 2ND FLOOR
OLD SAYBROOK, CT 06475
PHONE: (860) 388-9343
WEB: INDIGO-LAND.COM

INDIGO
land design

THE EMBOSSED SEAL OF
THE ENGINEER MUST BE
AFFIXED HERE FOR THIS
MAP TO BE VALID

COASTAL SITE PLAN
PREPARED FOR TRACY L. MAETER
125 SHORE ROAD, MAP 43 LOT 4
OLD LYME, CONNECTICUT

DATE:
DECEMBER 4, 2025

SCALE:
1"=20'

DRAWN BY:
RM

CHECKED BY:
JW

DWG. NO.:
CSP-1

SHEET NO.:
1 of 3

JOB NO.:
2025-1234

DEEP TEST PIT DATA

DATE: 2/1/2025
WITNESSED BY: CHERYL HAASE, R.S. (LLHD)
RECORDED BY: GREGG FEDUS, P.E. (FEDUS)
EXCAVATED BY: JEFF GRIDER

TP #1
0-16" TOPSOIL
16-36" BROWN FINE SANDY LOAM
36-43" LIGHT TAN MEDIUM TO FINE SAND
43-52" BRIGHT ORANGE BAND MEDIUM TO FINE SAND (MOST LIKELY SURFACE WATER)
52-96" LIGHT TAN MEDIUM TO COARSE SAND
MOTTLING OBSERVED @ 70" NO GROUNDWATER OBSERVED NO LEDGE OBSERVED

TP #2
0-9" TOPSOIL
9-24" BROWN FINE SANDY LOAM
24-40" BROWN MEDIUM SAND
40-70" LIGHT TAN MEDIUM COARSE SAND
70-108" TAN MEDIUM FINE SAND
NO MOTTLING OBSERVED GROUNDWATER OBSERVED @ 90" (SEE PAGE)
NO LEDGE OBSERVED

PERCOLATION TEST DATA

CONDUCTED BY: GREGG FEDUS, P.E. (FEDUS)

PERC 1			
DATE: 2/1/25			
DEPTH: 42"-24" SHELF			
TIME (MIN.)	DEPTH (INCHES)	DROP (INCHES)	PERC RATE (MIN./INCH)
0	4	---	---
5	8	4	1.3
10	11	3	1.7
15	13	2	2.5
20	14 1/2	1 1/2	3.3
25	15 5/8	1 1/8	4.4
30	16 3/4	1 1/8	4.4
35	17 3/4	1	5.0
40	18 3/4	1	5.0
45	19 3/4	1	5.0
(DRY)			
PERCOLATION RATE = 1.0-10.0 MIN./INCH			

GENERAL NOTES (SEPTIC SYSTEM):

- THE APPLICANT IS PROPOSING TO DEMOLISH THE EXISTING NON-CONFORMING 2-STORY 2-BEDROOM YEAR-ROUND DWELLING AND CONSTRUCT A NEW 2-STORY, 4-BEDROOM, YEAR-ROUND DWELLING ON THE LOT WITH A DETACHED 2-CAR GARAGE, A CRUSHED STONE DRIVEWAY, AN IN-GROUND POOL, A NEW 100% CONNECTICUT PUBLIC HEALTH CODE-COMPLIANT SEPTIC SYSTEM, A NEW WELL AND ASSOCIATED IMPROVEMENTS. THE STRUCTURE IS PROPOSED TO BE IN COMPLIANCE WITH CURRENT FEMA REGULATIONS AND LOCAL FLOOD ORDINANCES.
- THIS PROPERTY IS SERVED BY PRIVATE WELL AND A SUBSURFACE SEWAGE DISPOSAL SYSTEM. THERE ARE NO KNOWN WELLS OR ANY OTHER KNOWN DESIGN CONFLICTS WITHIN 75 FEET OF THE PROPOSED SEPTIC SYSTEM. NO KNOWN DOWNGRADE SEPTIC SYSTEM COMPONENTS WITHIN 25 FEET OF ANY UPGRADE GROUNDWATER DRAIN AND NO KNOWN UPGRADE SEPTIC SYSTEM COMPONENTS WITHIN 50 FEET OF ANY DOWNGRADE GROUNDWATER DRAIN.
- THE USE OF A GARBAGE DISPOSAL IS NOT RECOMMENDED. IF A GARBAGE DISPOSAL OR A TUB OVER 100 GALLONS IS INSTALLED, THE PROPOSED SEPTIC TANK SIZE SHALL BE INCREASED IN CONFORMANCE WITH THE PUBLIC HEALTH CODE. ANY WATER SOFTENER SHALL NOT DISCHARGE TO THE SEPTIC SYSTEM.
- THE PROPOSED HOUSE AND GARAGE WILL BE CONSTRUCTED ON SLAB AND WILL NOT HAVE FOOTING DRAINS. NO PART OF THE SEPTIC SYSTEM SHALL BE INSTALLED WITHIN 25' OF ANY UPSLOPE FOOTING DRAIN OR WITHIN 50' OF ANY DOWNSLOPE DRAIN.
- ALL UTILITIES SHALL BE INSTALLED IN CONFORMANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF OLD LYME AND THE CUSTODIAL UTILITY COMPANIES. ALL UTILITY TRENCHES SHALL BE NO LESS THAN 5 FEET FROM THE SEPTIC SYSTEM AND NOT BACKFILLED WITH FREE DRAINING MATERIAL.

GENERAL CONSTRUCTION NOTES (SEPTIC SYSTEM):

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CONNECTICUT PUBLIC HEALTH CODE, AS AMENDED.
- A LICENSED SURVEYOR SHALL FIELD STAKE THE SEPTIC SYSTEM PRIOR TO CONSTRUCTION AND SET A STABLE BENCHMARK IN THE SYSTEM AREA.
- NO WORK SHALL COMMENCE IN THE SYSTEM AREA UNTIL A SEPTIC PERMIT HAS BEEN TAKEN OUT BY THE LICENSED INSTALLER.
- THE LICENSED INSTALLER SHALL PERFORM SITE PREPARATION AND SHOULD CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 TO VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY CONSTRUCTION.
- THE LICENSED INSTALLER SHALL BE ON SITE DURING SYSTEM CONSTRUCTION. THE SYSTEM SHALL BE INSTALLED IN CONFORMANCE TO THESE PLANS. ANY REQUESTED MODIFICATIONS SHALL BE DISCUSSED WITH THE ENGINEER PRIOR TO CONSTRUCTION. ALL MODIFICATIONS MUST BE APPROVED BY THE ENGINEER AND TOWN SANITARIAN PRIOR TO CONSTRUCTION.
- A MINIMUM OF 24 HOURS NOTICE SHALL BE GIVEN BY THE LICENSED INSTALLER TO THE ENGINEER AND TOWN SANITARIAN BEFORE ANY STRIPPING IS DONE FOR THE SYSTEM. STRIP INSPECTIONS WILL BE PERFORMED BY THE ENGINEER AND SANITARIAN.
- THE LICENSED INSTALLER SHALL BE RESPONSIBLE FOR PREPARING THE LEACHING AREA IN A WORKMANLIKE MANNER. ALL NECESSARY STEPS SHALL BE TAKEN TO PROTECT THE UNDERLYING NATURALLY OCCURRING SOILS FROM OVER COMPACTION AND SILTATION ONCE EXPOSED.
- THE INSTALLER SHALL NOTIFY THE ENGINEER AND SANITARIAN AT LEAST 24 HOURS IN ADVANCE OF BEING READY FOR A FINAL INSPECTION. THE ENGINEER AND SANITARIAN SHALL CONDUCT THE FINAL INSPECTION TOGETHER WITH THE LICENSED INSTALLER. NO DEVIATION FROM THE PLAN APPROVED BY THE SANITARIAN SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE SANITARIAN. THE SYSTEM SHALL NOT BE BACKFILLED WITHOUT THE APPROVAL OF THE SANITARIAN.
- A LICENSED ENGINEER OR SURVEYOR SHALL PREPARE A SEPTIC SYSTEM AS-BUILT DRAWING CERTIFYING THE SYSTEM IS CODE-COMPLIANT. THIS PLAN SHALL INCLUDE ALL ESSENTIAL ACCESS POINTS INCLUDING TANK MANHOLES AND LEACHING SYSTEM ENDS. THE AS-BUILT PLAN SHALL BE COMPLETED IN A TIMELY MANNER.
- THE LEACHING SYSTEM SHALL BE PROPERLY COVERED BY THE LICENSED SYSTEM INSTALLER WITHIN TWO (2) WORKING DAYS FOLLOWING THE LOCAL HEALTH DEPARTMENT'S FINAL INSPECTION AND APPROVAL.
- NO HEAVY EQUIPMENT SHALL BE DRIVEN OVER THE INSTALLED LEACHING SYSTEM AREA UNTIL AFTER H-20 PROVISIONS HAVE BEEN INSTALLED.
- THE CONTRACTOR SHALL CONSULT WITH THE ENGINEER IF HE WISHES TO CHANGE THE LOCATION OR ELEVATION OF ANY PROPOSED SEPTIC SYSTEM COMPONENT PRIOR TO CONSTRUCTION.
- THE LICENSED INSTALLER IS RESPONSIBLE TO INSTALL THE SUBSURFACE SEWAGE DISPOSAL SYSTEM IN ACCORDANCE WITH THE APPROVED PLAN.
- SEPTIC TANK AND DBOX SHALL HAVE H-20 RISERS TO WITHIN 12" OF FINISHED GRADE. CONTRACTOR SHALL VERIFY SEPTIC TANK IS WATERTIGHT PRIOR TO INSTALLATION.
- THE PROPOSED LEACHING SYSTEM, GEOMATRIX GST6224 (WITH H-20 PROVISIONS), SHALL BE INSTALLED IN CONFORMANCE WITH ALL MANUFACTURER'S SPECIFICATIONS. A GEOMATRIX SYSTEMS REPRESENTATIVE WILL DELIVER THE GEOMATRIX GST FORMS TO THE SITE AND WILL BE ON SITE DURING INSTALLATION OF THE SYSTEM TO ENSURE PROPER INSTALLATION. THE INSTALLER SHALL OBTAIN, REVIEW AND STRICTLY ADHERE TO THE ALL INSTALLATION INSTRUCTIONS AND MATERIAL SPECIFICATIONS. MORE INFORMATION CAN BE OBTAINED FROM THE MANUFACTURER, GEOMATRIX SYSTEMS, LLC - 114 MILL ROCK ROAD EAST, OLD SAYBROOK, CT - 860-510-0730 OR AT WWW.GEOMATRIXSYSTEMS.COM.
- A TWO-PART CONCRETE SEPTIC TANK SHALL BE USED BUT MUST BE MADE 100% WATERTIGHT BY GASKETING AND MORTARING ALL JOINTS. IF A TWO-PART TANK IS USED, IT SHALL BE FILLED WITH WATER ABOVE THE JOINT AND INSPECTED BY THE ENGINEER AND/OR THE TOWN SANITARIAN WITHIN 24 HOURS. THE CONTRACTOR SHALL MONITOR THE WATER LEVEL IN THE TANK DURING THIS PERIOD AND SHALL PERMANENTLY REPAIR ANY LEAKS TO THE SATISFACTION OF THE ENGINEER AND THE TOWN SANITARIAN.
- THE LICENSED INSTALLER SHALL CONFIRM THAT NO LEDGE IS PRESENT WITHIN 48 INCHES BELOW THE BOTTOM OF THE PROPOSED LEACHING SYSTEM.
- THE CONTRACTOR SHALL GRADE THE AREA IN THE VICINITY OF THE LEACHING FIELD IN SUCH A MANNER THAT ALL SURFACE RUNOFF IS SUFFICIENTLY DIRECTED AWAY FROM THE LEACHING FIELD AREA AND NOT RESULT IN PONDING ON THE SUBJECT PROPERTY OR ANY ADJACENT PROPERTY OR ROADWAY.
- THE LICENSED INSTALLER SHALL INCLUDE ALL ADEQUATE PROVISIONS FOR FREEZE PROTECTION FOR ALL PIPING AND JUNCTIONS.
- LICENSED INSTALLER SHALL PROVIDE SIEVE ANALYSES FOR C-33 SAND PRIOR TO CONSTRUCTION.
- ANY FILL, AND/OR UNSUITABLE MATERIAL ENCOUNTERED WITHIN THE SYSTEM AREA OR AROUND THE PERIMETER DURING SYSTEM INSTALLATION SHALL BE REMOVED AND REPLACED WITH SELECT FILL OR C-33 SAND PER THE FILL & GRADING NOTES ON THIS SHEET. ANY FILL OR UNSUITABLE MATERIAL SHALL BE PROPERLY DISPOSED OF IN AN APPROVED OFF SITE LOCATION.

SANITARY SYSTEM DESIGN CRITERIA

DESIGN PERCOLATION RATE	# OF BEDROOMS	REQUIRED LEACHING AREA	LEACHING SYSTEM TYPE	EFF. LEACHING AREA	LEACHING AREA PROVIDED	REQ'D TANK CAPACITY	TANK CAPACITY PROVIDED
1.0-10.0 MINS./INCH (1)	4	577.5 S.F. (2)	32.0 L.F. OF GEOMATRIX GST6224 LEACHING SYSTEM WITH H-20 PROVISIONS (2 ROWS OF 16.0 L.F.)	18.1 S.F./L.F.	579.2 S.F. (18.1 S.F./L.F. x 32.0 L.F.)	1,125 GALLONS (3)	1,500 GALLONS (3)

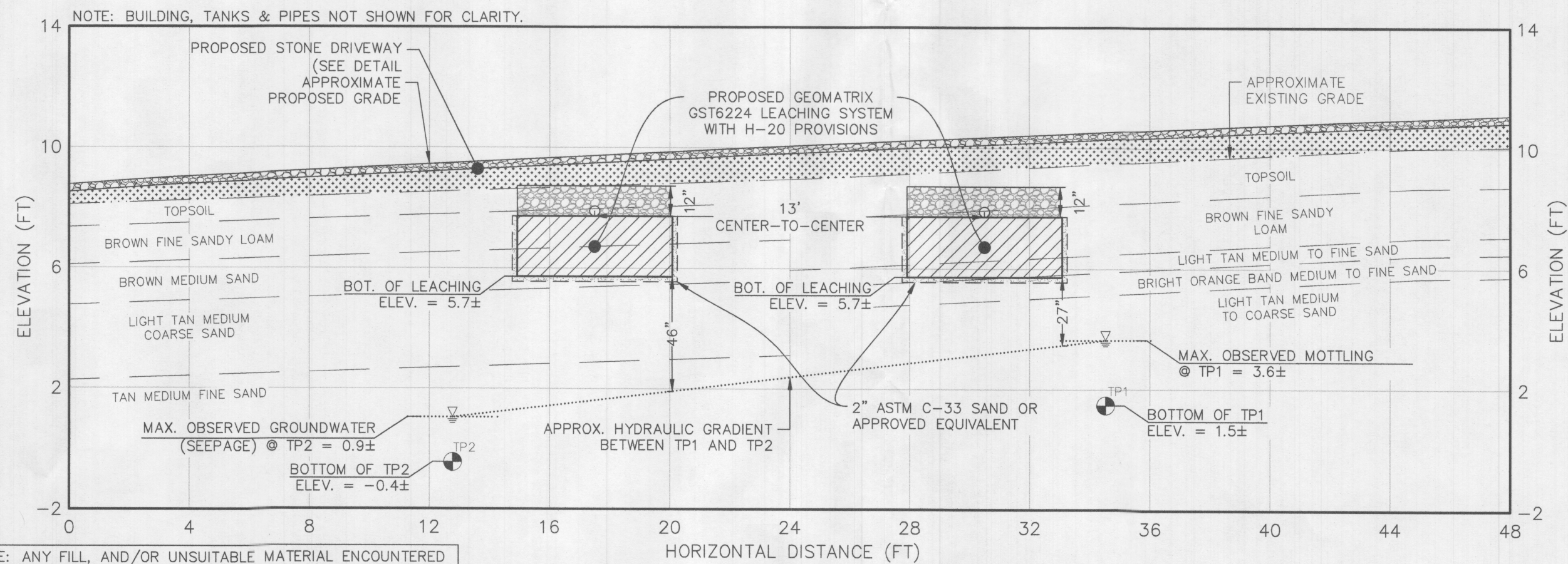
- (1) DESIGN PERCOLATION RATE OF LESS THAN 10.0 MINS. PER INCH USED PER FIELD MEASUREMENTS.
(2) REQUIRED E.L.A. = 495 S.F. (3 BEDROOMS) + 82.5 S.F. (1 ADDITIONAL BEDROOM) = 577.5 S.F.
(3) REQUIRED TANK CAPACITY = 1,000 GALLONS (FIRST 3-BEDROOMS) + 125 GALLONS (EACH ADDITIONAL BEDROOM) = 1,125 GALLONS. ALSO SEE GENERAL NOTE #3 ON THIS SHEET.

SANITARY SYSTEM PIPE INVERT TABLE

STRUCTURE	BUILDING TO SEPTIC TANK	SEPTIC TANK	DIST. BOX	LEACHING ROW
INV. IN (FT.)	---	8.50 (2)	8.05	7.70
INV. OUT (FT.)	9.70 (2)	8.25	7.85	---

- (1) FOR ALL PIPE, A MIN. OF 12" OF COVER IS RECOMMENDED.
(2) PIPE SLOPE = (9.70 - 8.50) / 55.3 FT. = 2.17% > 2.08%.
(3) BOTTOM OF LEACHING SYSTEM SHALL BE SET LEVEL AND AT ELEVATION 5.70'.

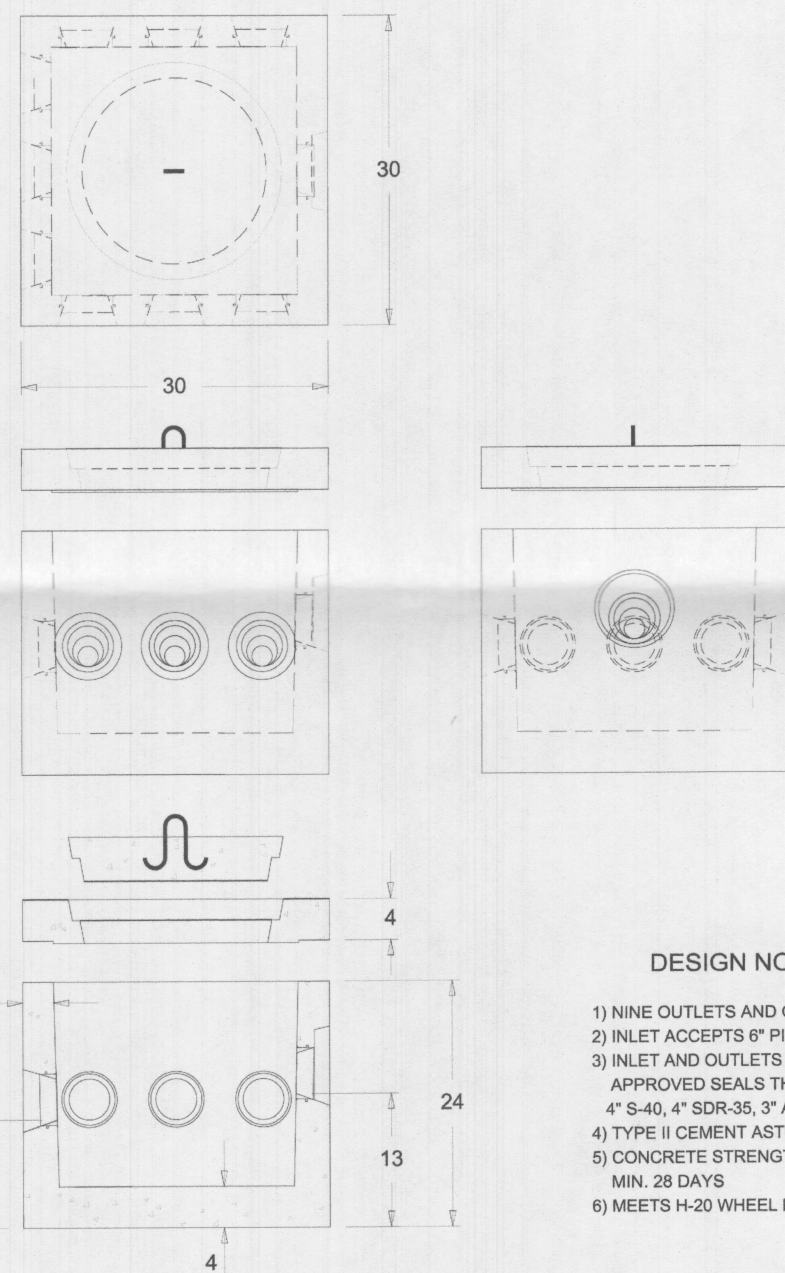
RECEIVING SOIL DEPTH > 60"
M.L.S.S. NOT REQUIRED



PROPOSED LEACHING SYSTEM PROFILE - X-SECTION A-A

HORIZ. SCALE = VERT. SCALE = 1"=4'

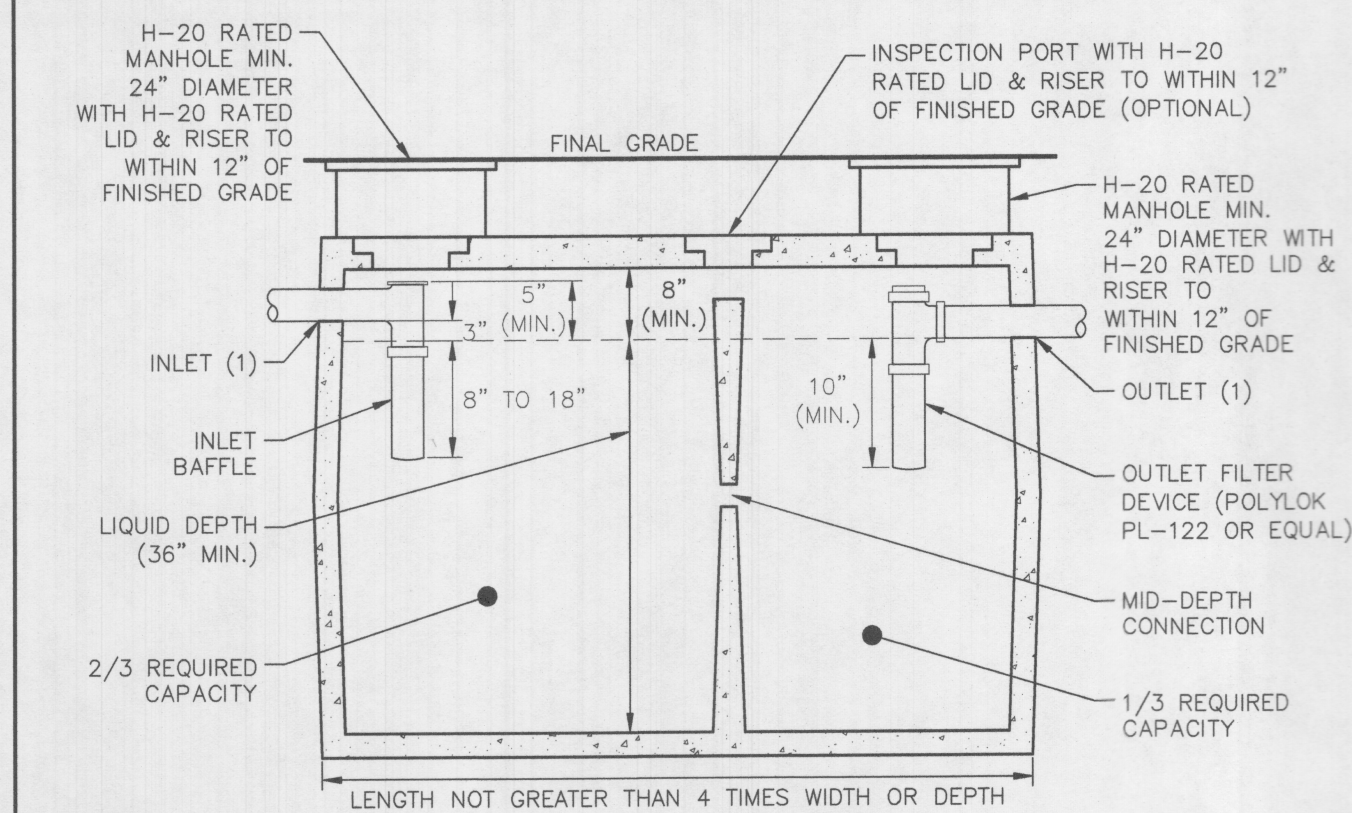
10 HOLE "D" BOX
DB 9



DESIGN NOTES

- NINE OUTLETS AND ONE INLET
- INLET ACCEPTS 6" PIPE
- INLET AND OUTLETS HAVE STATE APPROVED SEALS THAT ACCEPT 4" 5/8, 4" 5/8, 3" AND 2" PIPE
- TYPE II CEMENT ASTM C150-81
- CONCRETE STRENGTH 5000 PSI
- MIN. 20 DAYS
- MEETS H-20 WHEEL LOAD

JOLLEY PRECAST, INC.
860-774-9066



NOTES:

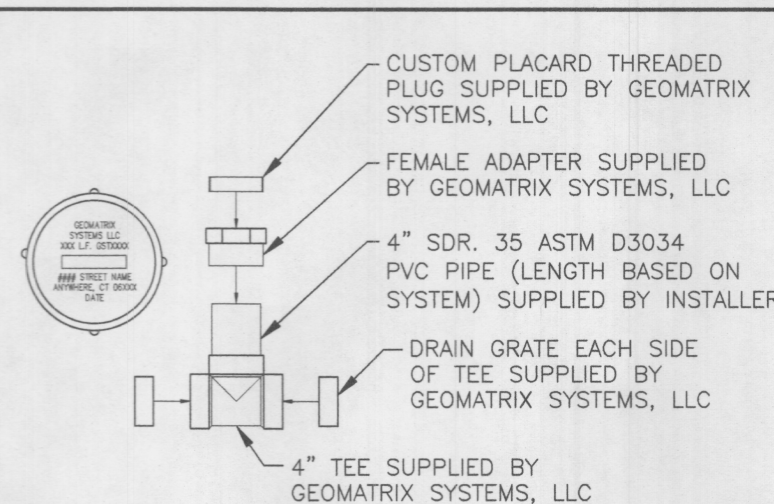
- INLET AND OUTLET PIPING SHALL BE AS LEVEL AS POSSIBLE AND SHALL NOT EXCEED 1/4" PER FOOT.
- ALL TANKS REQUIRING RISERS SHALL MAINTAIN THE ORIGINAL TANKS ON THE TANKS. HAVE RISER COVERS THAT WEIGH AT LEAST 100 LBS AND INSTALL A SAFETY DEVICE BELOW THE RISER TO PREVENT INDIVIDUALS FROM FALLING INTO A TANK. IF THE RISER COVERS WEIGH LESS THAN 100 LBS THEN THE TANK COVER SHALL REMAIN IN PLACE OR A SECONDARY SAFETY LID OR DEVICE SHALL BE PROVIDED. ALL BELOW GRADE TANK OR RISER COVER HANDLES SHALL CONTAIN OR BE FITTED WITH A MATERIAL THAT CAN BE LOCATED WITH A METAL DETECTOR.
- SEPTIC TANKS ARE AVAILABLE IN NUMEROUS SIZES AND DIMENSIONS FROM APPROVED MANUFACTURERS. THE LICENSED INSTALLER SHALL CONFIRM THAT THE SELECTED SEPTIC TANK SHALL BE CONSISTENT WITH THE DIMENSIONS INCLUDED ON THE PLAN AND SHALL MEET ALL CT PUBLIC HEALTH CODE REQUIREMENTS. IF TANK DIMENSIONS DO NOT MATCH THOSE INCLUDED ON THE APPROVED PLAN, THE INSTALLER SHALL REVIEW WITH THE DESIGN ENGINEER PRIOR TO ORDERING THE TANK.

1,500-GALLON H-20 CONCRETE SEPTIC TANK DETAIL

NOT TO SCALE

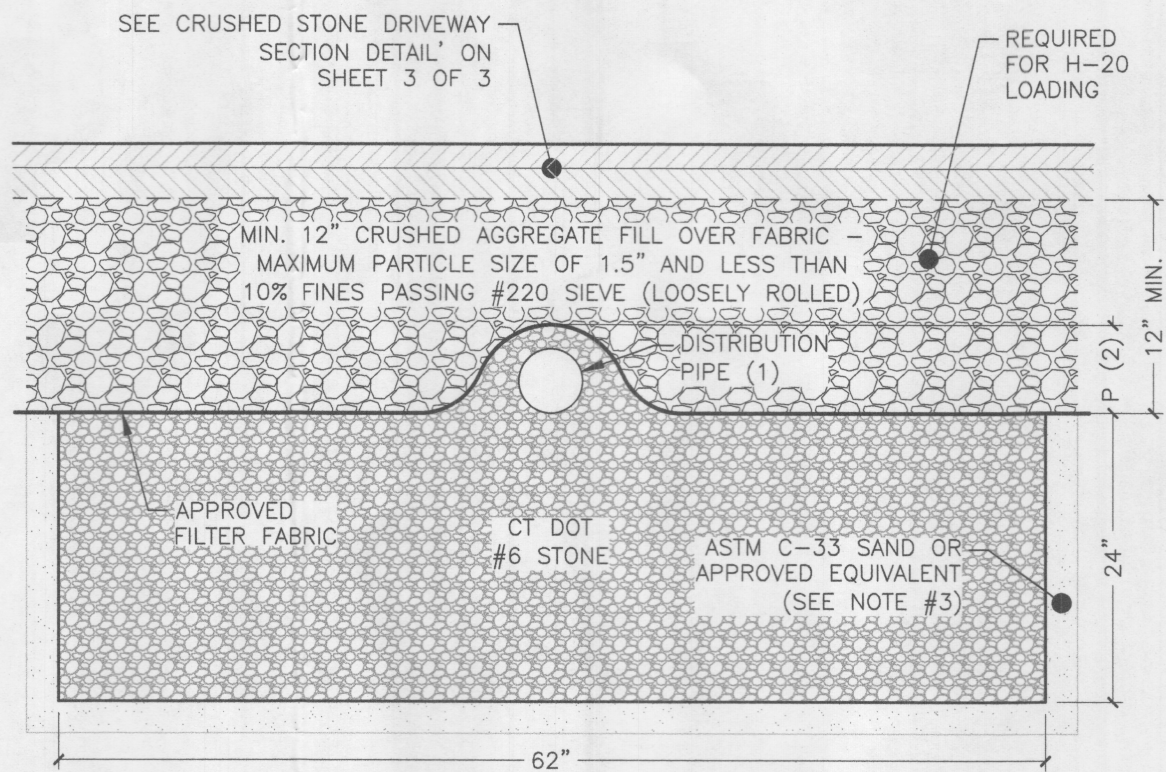
GEOMATRIX GST LEACHING SYSTEM

INSPECTION PORT DETAIL



CRUSHED AGGREGATE FILL GRADATION

SIZE	PERCENT PASSING
1 1/2 IN.	100
3/4 IN.	50-100
#4	25-50
#40	10-20
#100	5-15
#200	LESS THAN 10



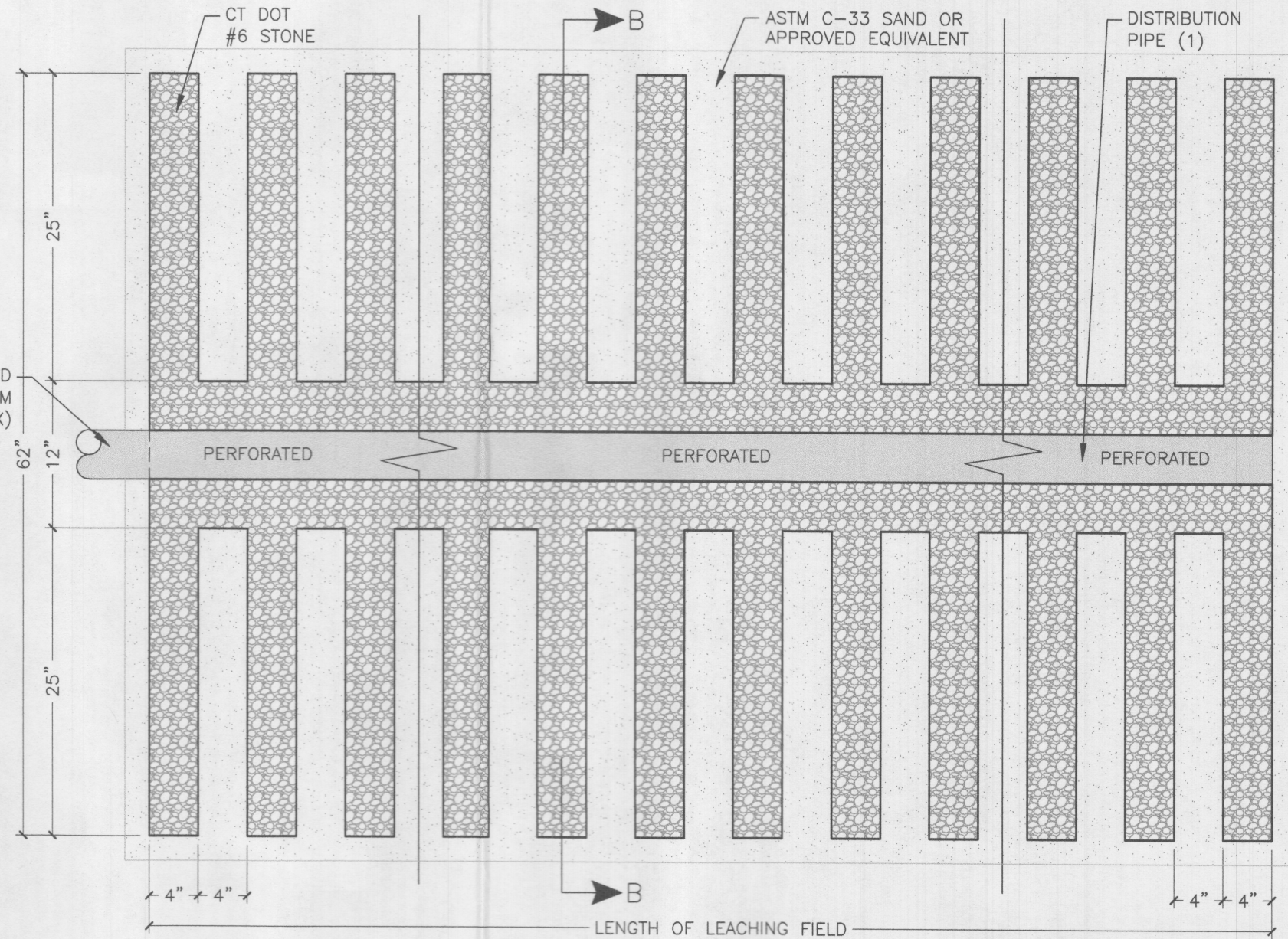
NOTES:

- 3" (MIN.) SCH. 40 ASTM D-1785 PVC PIPE FOR GRAVITY APPLICATIONS. 0.75" (MIN. I.D.) SCH. 40 ASTM D-1785 PVC PIPE FOR PRESSURE APPLICATIONS.
- P = 2" TO 5.5"
- 2" MINIMUM ASTM C-33 SAND OR APPROVED EQUIVALENT ON PERIMETER, BOTTOM AND SIDES OF SYSTEM.
- PAVEMENT BASE AND SUBBASE (12" MIN. THICKNESS + PAVEMENT) MAY BE ADEQUATE FOR H-20 LOADING. CONFIRM WITH GEOMATRIX SYSTEMS, LLC.

GEOMATRIX GST6224 (WITH H-20 PROVISIONS)

LEACHING SYSTEM - X-SECTION B-B

NOT TO SCALE



NOTES:

- 3" (MIN.) SCH. 40 ASTM D-1785 PVC PIPE FOR GRAVITY APPLICATIONS. 0.75" (MIN. I.D.) SCH. 40 ASTM D-1785 PVC PIPE FOR PRESSURE APPLICATIONS.
- 2" MINIMUM ASTM C-33 SAND OR APPROVED EQUIVALENT ON PERIMETER, BOTTOM AND SIDES OF SYSTEM.
- DISTRIBUTION PIPES SHALL EXTEND TO THE ENDS OF ROWS AND SHALL BE PROPERLY CAPPED.

GEOMATRIX GST6224 (WITH H-20 PROVISIONS) LEACHING SYSTEM - PLAN VIEW

NOT TO SCALE

SOIL TEST DATA & SEPTIC DESIGN CRITERIA

PREPARED FOR TRACY L. MAETER
125 SHORE ROAD, MAP 43 LOT 4
OLD LYME, CONNECTICUT

DATE:
DECEMBER 4, 2025

SCALE:
AS NOTED

DRAWN BY:
RM

CHECKED BY:
JW

DWG. NO.:

ST-1

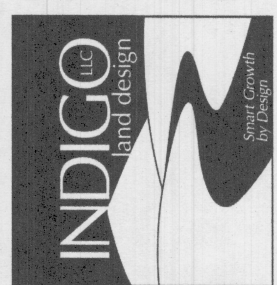
SHEET NO.:

2 of 3

JOB. NO.:

2025-1234

PLAN PREPARED BY:
INDIGO LAND DESIGN, LLC
JOSEPH WREM, P.E.
CT REG. NO. 21090
40 ELM STREET, 2ND FLOOR
OLD LYME, CT 06482
PHONE: (860) 386-9343
WEB: INDIGO-LAND.COM



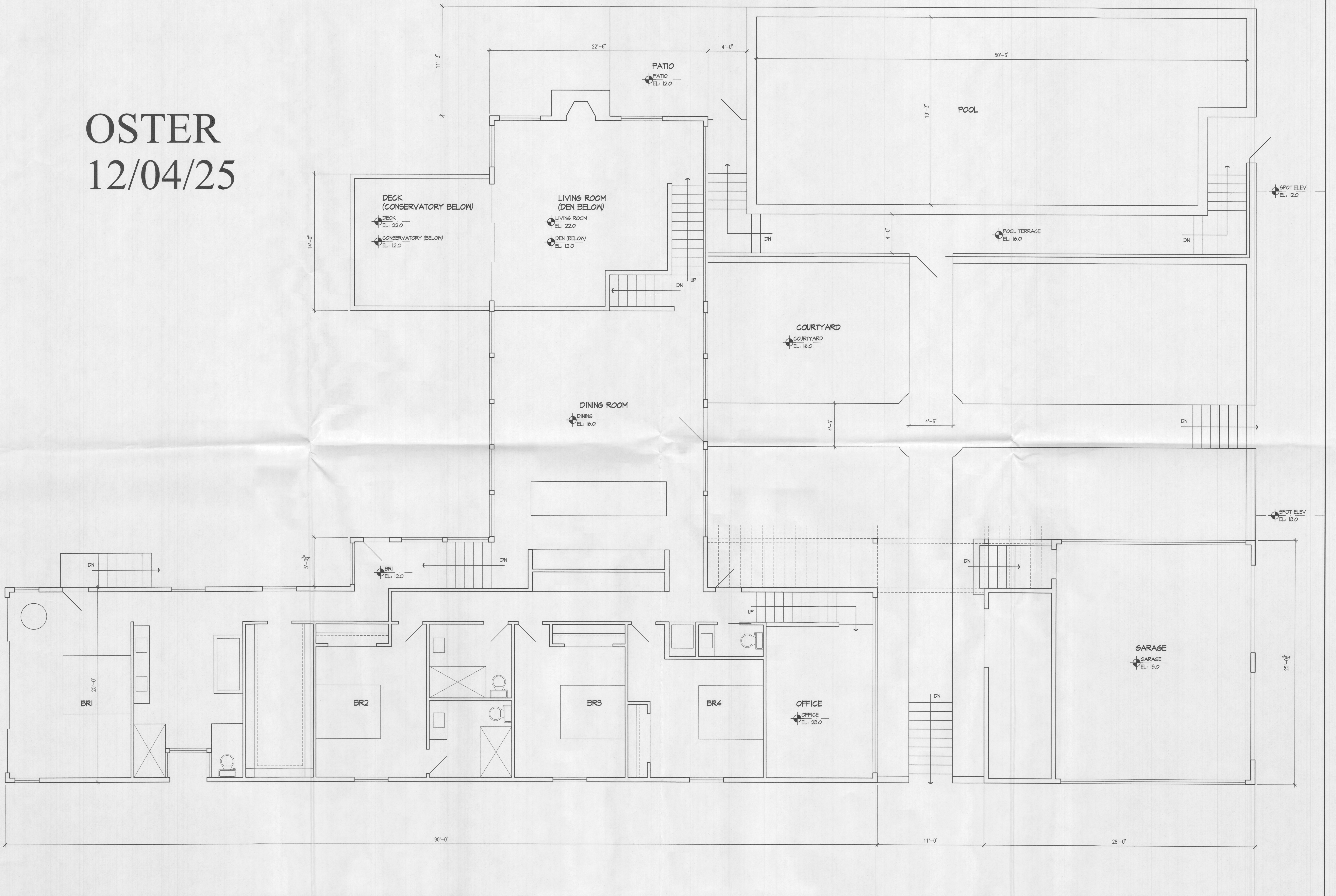
THE EMBOSSED SEAL OF
THE REGISTERED PROFESSIONAL
ENGINEER MUST BE PRESENT
ON THIS MAP TO BE VALID

DESCRIPTION

DATE

#

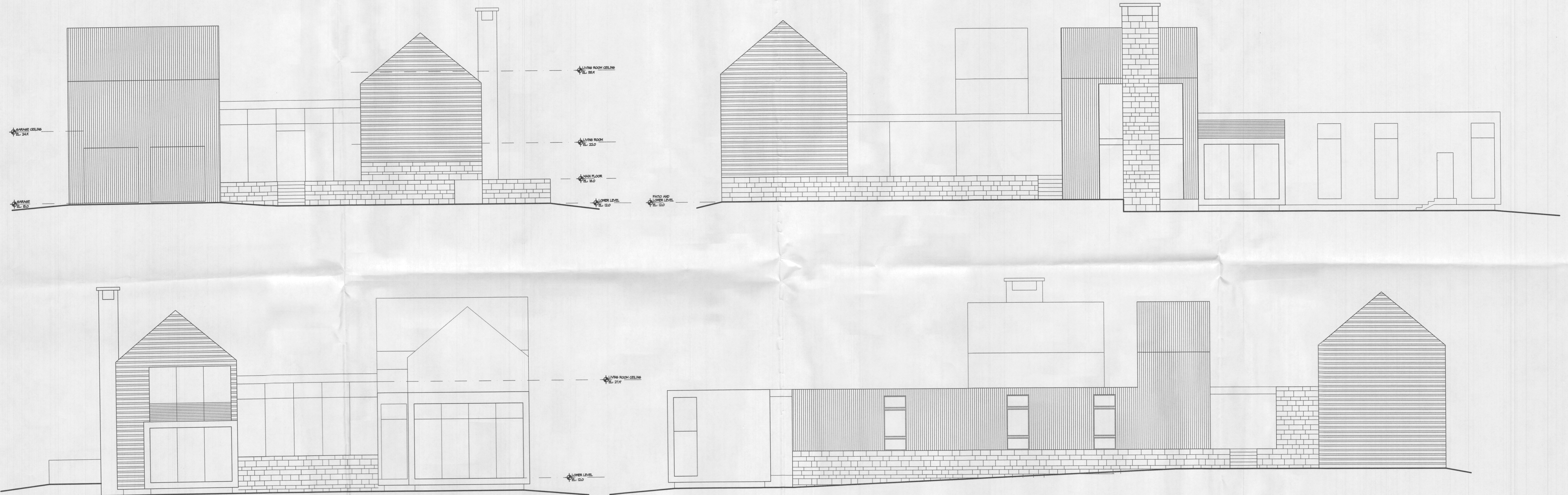
OSTER
12/04/25

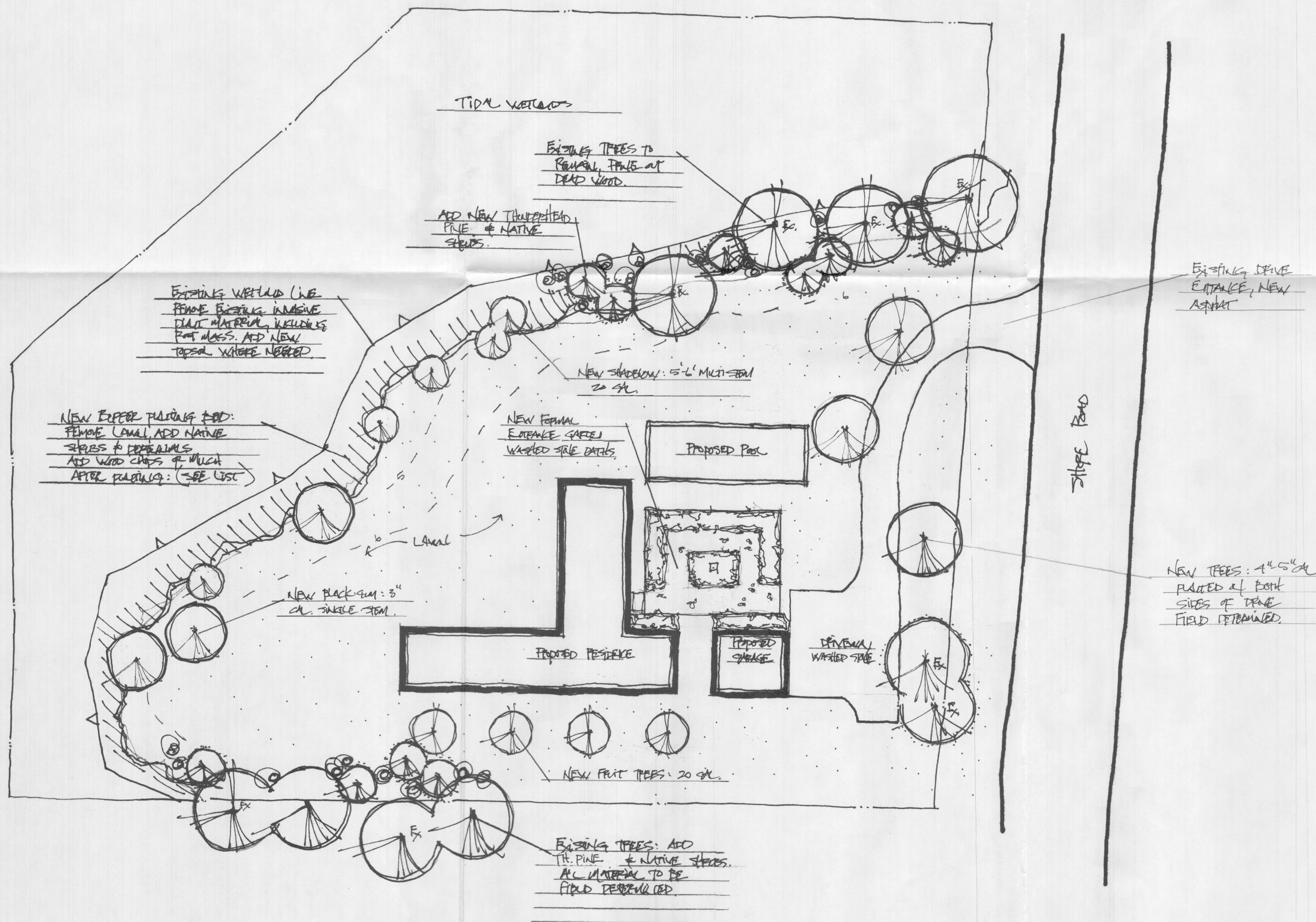


OSTER

12/04/25

1/8"=1'-0"





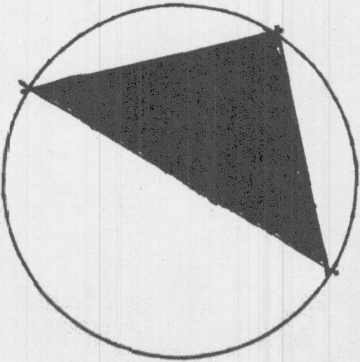
PROPOSED PLANT MATERIAL:

	Quant.	Botanical/common	size	mature
TREES:	11	Pinus Thunbergii "Thunderhead"	15 gal.	8'
	3	Quercus Bi-Color / Swamp White Oak Oak	5" cal.	50"
	4	Fruit Trees: TBD	20 gal.	15'
SHRUBS:	24	Aronia Arbutifolia / Chokeberry	2 gal.	6'
	24	Clethra Alnifolia / Pepperbush	2 gal.	4'
	48	Myrica Pensylvanica / Bayberry	2 gal.	6'
	6	Prunus Maritima / Beach Plum	2 gal.	8'
WETLAND: BUFFER:	5	Amelanchier Canadensis / Shadblow	5'-6"	20"
	3	Nyssa Sylvatica / Black-Gum	3" cal.	40"
	75	Asclepias Tuberosa / Butterfly Weed	2" pot	30"
	60	Baccharis Halimifolia / Groundsel Bush	2 gal.	4'
	50	Baptisia Australis / Blue Indigo	2" pot	30"
	30	Clethra Anifolia "Compacta"	2 gal.	4'
	90	Comptonia Peregrina / Sweet fern	1 gal.	3'
	90	Eutrochium Dubium / Joe-Pye Weed	1 gal.	5'
	60	Panicum Virgatum / Switch Grass	2 gal.	5'
	280	Schizachyrium / Little Blue Stem	2" pot	36"
	180	Silene Caroliniana / Wild Pink	2" pot	30"
	280	Solidago Sempervirens / Goldenrod	2" pot	36"
	280	Symphotrichum Tenuifolium / Aster	1 gal.	18"

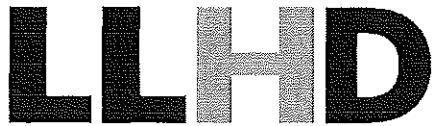
NOTES:
All material to be **field determined** by TEC.
All planting areas to receive 2" of mulch / wood chips after planting.
Prior to start, contractor shall thoroughly review the drawing and project site and familiarize himself with all existing conditions and features.
Contractor to maintain any erosion control and sediment control that has been laid out until all disturbed areas have been seeded or have had wood chips or mulch applied.
All existing plant material at site that is unwanted, including existing invasives, **will be removed**.
Existing material that can remain where it is located and not be impacted by grading, can remain on site.

MAETER-OSTER
RESIDENCE
OLD LYME, CONNECTICUT

PRELIMINARY LANDSCAPE PLAN : PL-1
TEC LANDSCAPE DESIGN, INC.
JOHN W. CUNNINGHAM
62 WALL STREET
MADISON, CONNECTICUT
203.245.4295
JOHN@TECLANDSCAPE.COM
SCALE: 1"= 20'
PROJECT: 6028
DATE: 11-5-2025
REVISED: 11-7-2025, 11-11-25



NOTES:
All site work and removals after approvals from town.
All trees to be saved to be tagged by TEC.
All planting boundaries to be field determined.
All plant material will be selected by and field determined by TEC.
This plan is for graphic representation of the **landscape** only.
Refer to civil and site drawings for all information regarding clearing limits, drainage, and specific dimensions of all proposed construction.



Ledge Light Health District

Promoting
healthy
communities

Date: December 12, 2025

To: Joe Wren

Subject Property: 125 Shore Road, Old Lyme

Plan Designed by: Joe Wren, PE

Plan Date: 12/4/2025 Last Revision Date:

Date Paid: 12/5/2025

The plan and associated information submitted to our office on 12/5/2025 for a proposed teardown rebuild on a new footprint with a four-bedroom single-family dwelling with private well water and private septic at the above-stated property, in the Town of Old Lyme, is:

- ☒ **Approved: Complies with the requirements of Section 19-13-B103 of the Connecticut Public Health Code.**
- ☐ **Approved w/conditions: Complies with the requirements of Section 19-13-B103 of the Connecticut Public Health Code; See conditions below.**
- ☐ **Requires Further Revisions: Modifications are needed to meet the requirements of Section 19-13-B103 of the Connecticut Public Health Code. Items requiring revision are listed below.**

1. The office to have a five-foot opening with no doors (pocket or barn style), as to not be considered a bedroom

Conditions:

1. All tanks requiring risers shall maintain the original covers on the tanks, have riser covers that weigh at least 100lbs., or install a secondary safety device below the riser to prevent individuals from falling into a tank. All below grade tank or riser cover handles shall contain or be fitted with a material that can be located with a metal detector.
2. The office to have a five-foot opening with no doors (pocket or barn style), so as not to be considered a bedroom. Walk-through required before occupancy.

The following are not currently required by CT Public Health Code and/or LLHD Plan Review Policies but are encouraged/recommended to protect the proposed structures, onsite septic system, water treatment discharge system and/or water supply/groundwater.

1. All proposed well arcs should be kept on the property they serve (to allow neighbors full use of their properties) and all well casings should be located at least 10' from driving surfaces and/or structures to prevent future damage and allow for future maintenance of the wells.
2. It is strongly encouraged to keep the original tank covers on all tanks requiring risers to prevent the escape of sewer gases and prevent individuals from falling into tanks.
3. The designer should take into consideration the location of potential future water treatment discharge systems, rain gardens and footing/gutter drain discharge locations.



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communities

Additional Requirements and Recommendations:

Installer to submit scaled and/or tied as-built to LLHD upon 30 days of completion with distances to flow line at house, inlet and outlet cover of tank, d-boxes, cleanouts and ends of leaching rows, well, footing/curtain drains and between tie points. In addition, provide the name of the installer, date, house location, and street/directional arrow.

*Please note that soils testing indicated on this plan are representative of actual soils conditions and additional deep test pits and percolation tests may be required by the Ledge Light Health District if the building or system location is altered and/or the suitable septic area is limited. Applicants should be aware that subdivision approval IS NOT sufficient for individual lot approval. Each lot must be reviewed by the Ledge Light Health District at the time of building permit application in order to obtain lot approval and issue a septic/well permit.

Please call me at 860-910-0399 with any questions regarding this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Cheryl Haase".

Cheryl Haase
Senior Environmental Technician

Cc:

To: Old Lyme Zoning Board of Appeals

From: Eric Knapp, Land Use Coordinator

Re: 125 Shore Road

Date: December 18, 2025

Summary: This is a teardown/rebuilt in the flood zone. It is also in the Gateway zone and in the tidal waters protection area. While the new house will be flood zone compliant, and in some ways further from the tidal wetlands, it is a very large structure taking up a great deal of mass within the coastal boundary.

Existing conditions: The lot size is listed in the application as 45,700± square feet, which meets the 40,000 square feet required in this zone. The existing house is two stories with an unfinished basement. It is in the AE11 Flood Zone. It is in the front yard setback, at 25.1' where 50' is required. It is also in the side yard setback, at 18.7' where 35' is required. There is a shed in the rear yard, which encroaches on the setback and coastal resource boundary.

Proposed conditions: All of the existing structures are to be removed. In their place will be a new house, 3,992 SF, compared with 2,118 SF for the current dwelling. While it will be pushed back from the front and side yard setbacks, and meet the rear yard zoning setback, the rear yard borders a large tidal marsh. This marsh has two particular sets of Regulations associated with it: Gateway and tidal water protection area. A great deal of the house and a pool and the well are located in this area. The variances are related to this fact. Section 4.3.1 of the Regulations requires that no building or other structure, including wells, be located within 100' of the coastal jurisdiction line. In this case, the patio is as close as 60.1'. Additionally, Section 4.10.3 of the Regulations, regulating the Connecticut River Gateway, also has a 100' setback. Again, the patio is 60.1' where 100' is required.

Analysis: There are many appealing features to this application. The new house will be flood zone compliant. The house will meet all of the standard bulk requirements of the Regulations. That said, it is a very large house that intrudes a great deal into the area which is supposed to be set aside as a coastal buffer. The Board should review whether this is the minimum required under the circumstances.



Jacobson

Nathan L. Jacobson & Associates, Inc.

Nathan L. Jacobson & Associates, P.C. (NY)

86 Main Street • P.O. Box 337 • Chester, Connecticut 06412-0337

Tel: 860.526.9591 • Fax: 860.526.5416 • www.nlja.com

Consulting Civil and Environmental Engineers Since 1972

MEMORANDUM

To: Mr. Craig Bonatti, Land Use Technician Date: December 31, 2025
From: Geoffrey L. Jacobson, P.E.
NLJA #: 1263-0021
Subject: ZBA Case #25-13, 125 Shore Road, Map 43, Lot 4, Thunder Mountain, LLC
cc: File

I have reviewed the following information that you forwarded to me via e-mail on December 8, 2025:

- Item 1: Old Lyme ZBA Variance Application Form with attachments, Case #25-13, dated December 5, 2025.
- Item 2: Set of three drawings titled "Prepared for Tracy L. Maeter, 125 Shore Road, Map 43, Lot 4, Old Lyme, Connecticut", including drawing sheets titled "Coastal Site Plan", "Soil Test Data & Septic Design Criteria" and "E&S Narrative & Construction Details", dated December 4, 2025, prepared by Indigo Land Design.
- Item 3: Set of 2 architectural drawings titled "Oster 12/04/25".
- Item 4: Drawing titled "Maeter-Oster Residence, Old Lyme, Connecticut", last revised November 7, 2025, prepared by TEC Landscape Design, Inc.

Based on our review of FEMA Flood Insurance Rate Maps, the proposed residential structure was determined to be located within an AE Zone with a Base Flood Elevation (BFE) of 11.0 NAVD88. The Old Lyme Zoning Regulations, as well as the State Building Code, requires the lowest floor, including basement, to be elevated to the base flood elevation plus one foot, which at this location will result in a Design Flood Elevation (DFE) of 12.0 NAVD88.

Based on the above noted items of information, the proposed floor elevations are shown at or above the DFE elevation of 12.0 NAVD88. Because the architectural drawings are conceptual in nature, and detailed foundation plans were not provided, what I cannot tell is if there are any crawl space areas that would be below the DFE. Although Construction Note #7 on the Coastal Site Plan drawing states "The proposed dwelling will not have a **full basement**....", it leaves open the question whether there will be any partial basement or crawl space areas. FEMA does allow crawl space areas to exist below the DFE, but only under the provisions of the "Wet Floodproofing Requirements" outlined in FEMA Technical Bulletin TB 7-93. These requirements are summarized as follows:

1. The use of any portion of an enclosed area located below the DFE of 12.0 NAVD88 must be solely restricted to parking, building access and limited storage of low value items and shall not have any finished living space.
2. All enclosed areas located below the DFE of 12.0 NAVD88 shall be designed to allow for automatic entry and exit of flood waters to equalize hydrostatic flood forces on external walls by providing a minimum of two openings, located on different sides of each separate enclosed area below the DFE, having a total of not less than one square inch of permanent net open area for every square foot of enclosed area subject to flooding, unless approved ICC-ES certified engineered vents are used (i.e. Smartvents). The bottom of all such openings shall be no higher than one foot above the lowest interior floor and exterior ground elevations and located to permit free drainage away from the structure. Furthermore, the exterior grade across the entire length of at least one side of the structure, must be at or below the lowest interior enclosed space slab elevation (otherwise the enclosure becomes classified as a basement, which is prohibited). The calculation for determining the number of required flood vents must be based on exterior foundation dimensions.



Nathan L. Jacobson & Associates, Inc.
Nathan L. Jacobson & Associates, P.C. (NY)

To: Mr. Craig Bonatti, Land Use Technician

Date: December 31, 2025

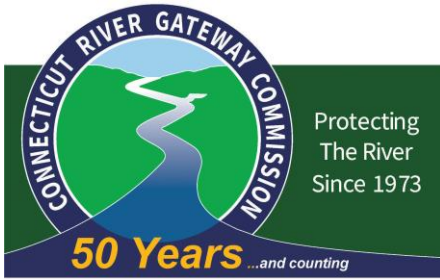
From: Geoffrey L. Jacobson, P.E.

NLJA #: 1263-0021

Subject: ZBA Case #25-13, 125 Shore Road, Map 43, Lot 4, Thunder Mountain, LLC

3. All construction below the DFE 12.0 NAVD 1988 must consist entirely of Flood Damage Resistant Materials as specified in FEMA Technical Bulletin 2 titled "Flood Damage-Resistant Materials Requirements".
4. No mechanical equipment or utilities of any kind may be located in any portion of the proposed structure below the DFE of 12.0 NAVD88 (this includes, but is not necessarily limited to water supply, plumbing fixtures, heating, air conditioning equipment, duct work, electric panels, transfer switches, electric meter, telephone, cable TV systems, or other service facilities; and, specifically includes all electrical outlets and switches, lighting fixtures, fans, furnace, hot water heater, fuel tank, gas regulator valves, appliances, etc.). This minimum elevation requirement also applies to all exterior utilities, including any located on exterior pads and platforms.

END of MEMORANDUM



145 Dennison Road
Essex, CT 06426
Phone: 860-581-8554
contact@ctrivergateway.org
www.ctrivergateway.org

Chester
Deep River
East Haddam
Essex
Haddam
Lyme
Old Lyme
Old Saybrook

January 7, 2026

Ms. Nancy Hutchinson, Chair
Old Lyme Zoning Board of Appeals
52 Lyme Street
Old Lyme, CT 06371

SUBJECT: 125 Shore Rd Variance Application

Dear Ms. Hutchinson:


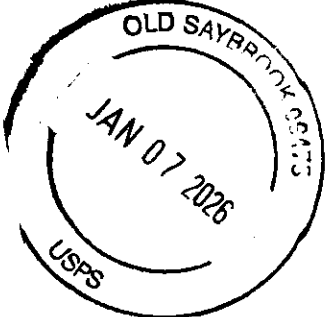
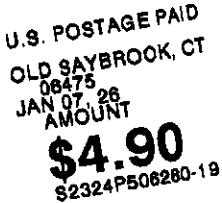
Old Lyme Zoning Board of Appeals has submitted the referenced Variance application to the Connecticut River Gateway Commission (CRGC) for review pursuant to Section 25-102h of the Connecticut General Statutes. CRGC's next meeting will be on January 22, 2026. This is after the Zoning Board of Appeals hearing is scheduled to begin. Therefore, CRGC requests a continuance of the public hearing to allow CRGC an opportunity to review and discuss the application and respond with comments.


Respectfully,

Suzanne S. Thompson, Chair
Connecticut River Gateway Commission



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4.	MORELLI FRANK & SUZANNE 129 SHORE RD OLD LYME, CT 06371			
5.	SPEERS SANDRA & SPEERS SCOTT E EST 1 HOMESTEAD CIR OLD LYME, CT 06371			
6.	DANGELO KRISTINE M & STEPHEN L (TIC) 126 SHORE RD OLD LYME, CT 06371			



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